



City of Kelowna
January 20th, 2025
1435 Water Street,
Kelowna BC, V1Y1J4

Barbara Crawford, Planner II

Troika Developments is a progressive, future-focused land and real estate development company based in Kelowna BC. Founded in 2000, Troika has built sustainable communities through the development, construction, and management of: 2,500 residential units, 300,000 square feet of commercial real estate, and 1,200 acres of land. We are involved from start to finish in the creation of living spaces and communities, from the acquisition of under-utilized land, construction, sales and marketing right through to property management.

Following several productive meetings and discussions regarding design parameters to meet the intent of the original Development Permit (DP) 23-0140, **we are pleased to submit our revised Development Permit Application for the proposed development at 465 Dougall Road for your review and consideration.**

We believe the submitted DP reflects our discussions and is suitable for staff-delegated approval, as per Development Procedures Policy – Schedule 4. The scope and scale of the variances are minor, the use and enjoyment of neighboring lands are comparable to the original DP, there are no new impacts on the natural environment, and the development maintains a consistent form and character appropriate for the area.

From the beginning, Troika has been about maximizing positive, local outcomes and building a legacy through the development of communities. We understand that the motivations of our community are essential to how we define project success, and are focused on creating value, success, and lasting impacts on the cities and towns that we operate in. As Kelowna is the city we call home, this community deserves the best outcomes possible. We believe that this project will serve our community and benefit the city through increasing housing availability for citizens. Whether it's for sale condo, affordable rental, or lasting income generating rental properties, we strive for excellence in the execution of our business plans and believe we can create outcomes far beyond real estate.

Troika has demonstrated an ability to execute across Western Canada, with projects proposed or underway in Kelowna, Lake Country, Merritt, Prince George, Edmonton, Regina, and Winnipeg. Our experience working with municipalities in each location allow us to adapt our projects and quickly pivot when necessary to realize the best possible outcomes.

To assist with the required review. The following items are enclosed with the submission:

1. Cover Letter – Troika Developments
2. Design Rationale – Lime Architecture
3. DP Amendment – Lime Architecture





- a. Elevations, sections, form and character
- 4. Landscape Set – EDA Landscape Design
- 5. Landscape Bonding Value – EDA Landscape Design
- 6. Geotechnical Report – Interior Testing Ltd.
- 7. Functional Servicing Report – McElhanney Ltd.
 - a. Servicing Memo, Grading Plan, Servicing Plan
- 8. Offsite Cost Estimate – McElhanney Ltd.
- 9. Onsite Cost Estimate – McElhanney Ltd.
- 10. Topo Survey – Runnalls Denby Surveying
- 11. Water Conservation Report – EDA Landscape Design
- 12. Title Documents
- 13. Owners Authorization

Should you have any questions concerning this application, please feel free to contact our offices to discuss. We appreciate the opportunity given to Troika Management Corp. to present this DP for your consideration. We look forward to hearing from you in the near future.

Regards,

Troika Management Corp.

A handwritten signature in blue ink, appearing to read 'Brad Clifton', with a long horizontal flourish extending to the right.

Brad Clifton
Senior Development Manager | TROIKA MANAGEMENT CORP.
bradc@troikagroup.ca | C: 250.258.0067

302-554 Leon Ave, Kelowna, BC V1Y 6J6



Transmittal Page 1 of 5

To: Barbara Crawford
CC: Brad Clifton

bcrawford@kelowna.ca
bradc@troikagroup.ca

January 20, 2025

**Re: Design Rationale for the Proposed Development of
465-495 Dougall Road N, Kelowna, BC (The Site)**

Dear Barbara Crawford,

Further to submitted information pertaining to the rezoning associated with the proposed Development of 465-495 Dougall Road N in Kelowna to a UC4r Zone designation, and the Amendment of the current Development Permit, we offer the following Rationale for the project:

Located in the Rutland Urban Centre, this is the perfect location for families requiring close proximity to amenities such as grocery and retail stores, restaurants, schools, and parks. The site is located in a Transit Oriented Area, offering alternative modes of transit to support those who wish to commute by bus, while also supporting those who wish to bike or walk to nearby amenities.

The proposed rental zoning designation (UC4r) aligns with the City's policies to address housing needs by increasing the availability of purpose-built rental units. This approach contributes to the creation of diverse and attainable housing options, supporting long-term affordability and stability for residents. By prioritizing rental housing, the project responds directly to the City's objectives of fostering sustainable community growth and meeting the needs of a growing population.

The development provides convenient short-term bicycle parking adjacent to the entrance of the building off Dougall Road N, as well as long-term bicycle parking complete with a bike wash and repair station in the parkade below. Garbage & recycling has been provided in the southeast corner of the property off the parking lot. The entrance to the parking area will be provided via a drive aisle which will be accessed from Dougall Road N, with the parking area itself located behind the building to screen it from street view. The below-ground parkade will be accessed via a ramp in the southeast corner of the parking area. The development consists of (11) bachelor apartment units, (53) 1-bedroom apartment units, (33) 2-bedroom apartment units, & (9) 3-bedroom apartment units. The ground-floor units along Dougall Road N will have ground-oriented access from the sidewalk. The proposed building will be 6-storeys (21.0m) tall and will conform to all requirements of the UC4r zone; no variances are being requested.

While the development is in a Transit Oriented Area and is exempt from providing parking beyond what is required to meet accessibility standards, a functional number of stalls is being provided to ensure the development can meet the needs of its tenants. The development provides (13) visitor stalls located in the surface parking area, (2) of which are accessible stalls ((1) of which is van-accessible), and (86) parking stalls within the parkade, (1) of which is an accessible stall.



Summary of Proposed Amendment

To accompany the proposed Development Permit Amendment associated with the above development, a summary of changes has been provided to rationalize the proposed design.

To enhance the overall functionality and feasibility of the project, minor design changes have been implemented with a focus on improving building efficiencies, constructability, accessibility, and Building Code compliance. These adjustments were carefully made to align with best practices in design and construction while minimizing impacts on the form and character of the building.

Our primary objective is to retain the building's architectural integrity and original design intent while ensuring that the changes result in a net benefit for both the client and the city. By optimizing layout configurations, refining construction details, and addressing accessibility requirements associated with ever-changing Building Code regulations, we see a net improvement to the building's usability, constructability, and operational performance.

The relevant design changes have been organized into the following categories:

1. Reallocation of Common Outdoor Amenity Space
2. Surface Parking and Ramp Improvements
3. Location of Garbage and Recycling
4. Addition of Ground-Floor Residential Units
5. Relocation of Short-Term Bicycle Parking
6. Adjustment to Northwest Corner for Transformer Right-of-Way
7. Provision of Parkade Ventilation

1. Reallocation of Common Outdoor Amenity Space

To enhance safety and usability, the outdoor amenity space previously located in the parking lot drive aisle has been removed. This adjustment addresses the inherent hazards of placing amenity space in a traffic zone. To ensure required Common Outdoor Amenity Space requirements are being met, additional amenity space has been provided on the level 6 rooftop patio instead. The rooftop patio offers a significantly more functional and inviting environment for residents to enjoy outdoor activities. Elevated and away from traffic, the space provides a secure and quiet area with improved ambiance and views. The relocation also maximizes the usability of the outdoor amenity area, offering a cohesive and comfortable gathering space while freeing up valuable space within the parking lot for vehicular circulation and parking efficiency. This change prioritizes resident safety, enhanced user experience, and an improvement to the overall quality of the project.



2. Surface Parking and Ramp Improvements

Functionality and user safety have been improved by reconfiguring the surface parking layout to eliminate its previous encroachment over the parkade ramp. This change allows for an extended ramp design, significantly reducing the ramp's slope percentage. The result is a smoother, safer transition into the parkade, enhancing vehicular safety and accessibility. Additionally, the extended ramp ensures adequate head clearance to the slab above, further improving functionality and compliance with safety standards. We believe this adjustment represents a net benefit to the project by prioritizing user safety and optimizing the ramp's performance.

3. Location of Garbage and Recycling

To optimize site functionality and aesthetics, we propose replacing the previously designed garbage room with in-ground garbage and recycling bins. These bins offer a more space-efficient solution by utilizing below-grade installation, freeing up valuable surface area for other uses. Their sleek, low-profile design reduces the visual impact on the site, eliminating the need for extensive screening or enclosure structures typically required for traditional waste storage facilities. Operational efficiency has also been carefully considered in this design. The existing hammerhead turnaround in the parking lot has been designed to accommodate a crane truck, ensuring convenient access and egress for waste collection. This configuration allows the truck to maneuver efficiently when emptying the bins, minimizing disruption to the site. The convenient hammerhead turnaround allows trucks to turnaround on-site, allowing them to reintegrate seamlessly with traffic on Dougall Road N.

4. Addition of Ground-Floor Residential Units

Following the removal of the garbage room and relocation of long-term bicycle parking to the parkade, we have introduced four additional residential units on the main floor. The garbage room has been replaced with in-ground garbage and recycling bins, and the previous bicycle room layout was determined to be an inefficient use of the available floor area. By relocating and reconfiguring these spaces, we have optimized the ground-floor plan to prioritize residential density, aligning with project goals and community housing needs. To accommodate the additional units, we will utilize the rental-only zoning incentive to achieve the necessary Floor Area Ratio (FAR) increase. This approach supports the project's alignment with the City's policies encouraging increased housing availability within urban areas. The reallocation of space not only ensures a more economical and functional ground-floor layout but also enhances the building's contribution to local housing stock.



5. Relocation of Short-Term Bicycle Stalls

The short-term bicycle stalls have been relocated to the front entrance of the building to align with the City of Kelowna's bylaw requirements. This adjustment enhances compliance while improving convenience and visibility for cyclists. Positioning the stalls near the main entrance encourages active transportation by providing easily accessible and secure parking options in a prominent location. The placement also supports the building's integration into the broader urban mobility network, aligning with city goals to promote sustainable transportation alternatives. This relocation represents a thoughtful response to regulatory requirements and user needs, ensuring functionality and accessibility for residents and visitors alike.

6. Adjustment to Northwest Corner for Transformer Right-of-Way

The northwest corner of the building has been adjusted to accommodate an increase in the transformer right-of-way size, necessitated by the anticipated electrical demands of the building. This modification ensures sufficient space for the transformer installation, meeting utility provider requirements and supporting the safe and efficient delivery of electrical service to the site. This adjustment was carefully designed to maintain the form and character of the building while prioritizing compliance with technical and regulatory standards.

7. Provision for Parkade Ventilation

To meet safety and performance standards, mechanical ventilation will be incorporated into the parkade design. While the specific details will be finalized in collaboration with a mechanical engineer during the next phase of development, current planning anticipates the need for an intake air structure, likely a small "doghouse," positioned toward the southwest corner of the property. This intake air structure will facilitate adequate airflow to maintain air quality within the enclosed parkade and comply with applicable building codes and regulations.



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In summary, the rationale for this project is as follows:

- i. Provide an increase in density to a neighbourhood where this density is desired.
- ii. Provide a mix of unit types, from bachelor to 3-bed units (including ground-oriented).
- iii. The proposed development meets all City of Kelowna Bylaw requirements.

This proposed development recognizes the City of Kelowna's strategic approach to overall growth including better use of precious developable land in accordance with the City's OCP/Future Land Use, Healthy City Strategy and planning initiatives.

We look forward to your supportive comments in response to this Development Permit Amendment application.

Please do not hesitate to contact our office if you have any questions or require additional information in these matters.

Sincerely:

Matt Johnston Architect AIBC, LEED AP
LIME Architecture Inc.

465-495 DOUGALL ROAD N, KELOWNA, BC



PROPERTY DESCRIPTION

CIVIC: 465-495 DOUGALL RD N, KELOWNA, BC
LEGAL: LOT A, PLAN EPP125056

CONSULTANT TEAM

OWNER/ OPERATOR

Troika Development
302-554 Leon Avenue
Kelowna, BC V1Y 6J6
250-869-4945

Contact(s):
Brad Clifton

ARCHITECTURAL

LIME Architecture
205-1626 Richter Street
Kelowna, BC V1Y 2M3
250-448-7801

Contact(s):
Brandon Dobroskay

CIVIL

McElhanney
2281 Hunter Road
Kelowna, BC V1X 7C5
250-861-8783

Contact(s):
Jesse Granberg

LANDSCAPING

Al-Terra Group Ltd.
5307-47 Street NW
Edmonton, AB T6B 3T4
780-440-4411

Contact(s):
Will Packolyk

ARCHITECTURAL SHEET LIST

A-000	COVER SHEET	A-201	NORTH ELEVATIONS
A-001	SITE & PROJECT INFORMATION	A-202	EAST ELEVATIONS
A-002	AREAS SCHEDULE	A-203	SOUTH ELEVATIONS
A-101	PARKADE PLAN	A-300	SECTIONS
A-102	LEVEL 1 PLAN	A-400	RENDERINGS
A-103	LEVEL 2-5 PLAN	A-401	RENDERINGS
A-107	LEVEL 6 PLAN	A-402	RENDERINGS
A-108	ROOF PLAN	A-403	RENDERINGS
A-200	WEST ELEVATIONS		

FOR DP



PHONE:250-448-7801
205-1626 Richter Street,
Kelowna, BC V1Y 2M3
www.limearchitecture.com

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All trades are to execute the work in accordance with the current municipality building by laws and requirements of other local authorities having jurisdiction as well as the british columbia building code - (most recent edition) including all published revisions and addenda. All trades shall assume full responsibility for the locations and protection of all under and above ground utilities, wires and conduit connections, including (but not limited to) water, sewer, gas, hydro and telephone.

REVISION NO., DATE AND DESCRIPTION
01.13.25 FOR REVIEW
01.17.25 FOR REVIEW
01.20.25 FOR DP

PLOT DATE
1/20/2025 11:53:00 AM
PROJECT
465-495 DOUGALL ROAD
DRAWING TITLE
COVER SHEET
DRAWING NO.
A-000



465-495 DOUGALL ROAD NORTH, KELOWNA, BC

PROPERTY DESCRIPTION:

CIVIC: 465-495 DOUGALL ROAD NORTH, KELOWNA, BC
LEGAL: LOT A, PLAN EPP125056

ZONING CALCULATIONS:

CURRENT: CITY OF KELOWNA UC4 ZONING

URBAN CENTRE

PROPOSED: UC4

SITE INFORMATION:

GROSS SITE AREA =	34,715 SF (3,225 m ²)	
	ALLOWED/REQUIRED	PROPOSED
SITE COVERAGE =	85% (29,508 SF)	44% (15,428 SF)
SITE COVERAGE + HARDSCAPING =	90% (31,244 SF)	85% (29,597 SF)
FAR + BONUS DENSITY =	1.8 + 0.3 = 2.1 FAR (72,902 SF)	1.91 FAR (66,313 SF)
HEIGHT =	22.0 m (6 STOREYS)	21.0 m (6 STOREYS)
PRIVATE & COMMON AMENITY SPACE:		
BACHELOR UNITS =	6 m ² /UNIT x 11 UNITS = 66 m ² (710 SF)	
1 BEDROOM UNITS =	10 m ² /UNIT x 53 UNITS = 530 m ² (5,705 SF)	
2+ BEDROOM UNITS =	15 m ² /UNIT x 42 UNITS = 630 m ² (6,781 SF)	
TOTAL	1,226 m ² (13,197 SF)	1,268 m ² (13,647 SF)
MIN. COMMON =	4 m ² /UNIT x 106 UNITS = 424 m ² (4,564 SF)	426 m ² (4,589 SF)
MIN. PRIVATE =	13,197 SF - 4,564 SF = 8,633 SF	842m ² (9,058 SF)

*REFER TO 'UNIT CALCULATIONS' TABLE FOR BREAKDOWN OF PRIVATE AMENITY SPACE PER UNIT.

YARD SETBACKS:

FRONT YARD =	3.00 m	3.19 m
FRONT YARD (GROUND ORIENTED) =	2.00 m	3.19 m
FRONT YARD BUILDING STEPBACK =	3.00 m	4.54 m
SIDE YARD (NORTH) =	0.00 m	3.44 m
SIDE YARD (SOUTH) =	0.00 m	7.50 m
REAR YARD =	0.00 m	3.13 m
FRONT YARD (ABOVE 16.0 m) =	3.00 m	7.54 m
SIDE YARD (NORTH) (ABOVE 16.0 m) =	4.00 m	4.40 m
SIDE YARD (SOUTH) (ABOVE 16.0 m) =	4.00 m	7.50 m
REAR YARD (ABOVE 16.0 m) =	4.00 m	6.43 m

PARKING CALCULATIONS:

RESIDENTIAL =	0	86
VISITOR =	0	13
TOTAL =	0	99
ACCESSIBLE PARKING =	3 (1 VAN ACCESSIBLE)	3 (1 VAN ACCESSIBLE)

LONG-TERM BICYCLE STORAGE:

BACHELOR, 1, & 2 BEDROOM =	97 UNITS x 0.75 = 73	
3 BEDROOM =	9 UNITS x 1 = 9	
TOTAL =	82	86

SHORT-TERM BICYCLE STORAGE:

6 PER ENTRANCE =	1 ENTRANCE = 6	
TOTAL =	6	6

UNIT BREAKDOWN

BACHELOR: 11

1-BEDROOM: 53

2-BEDROOM: 33

3-BEDROOM: 9

TOTAL = 106

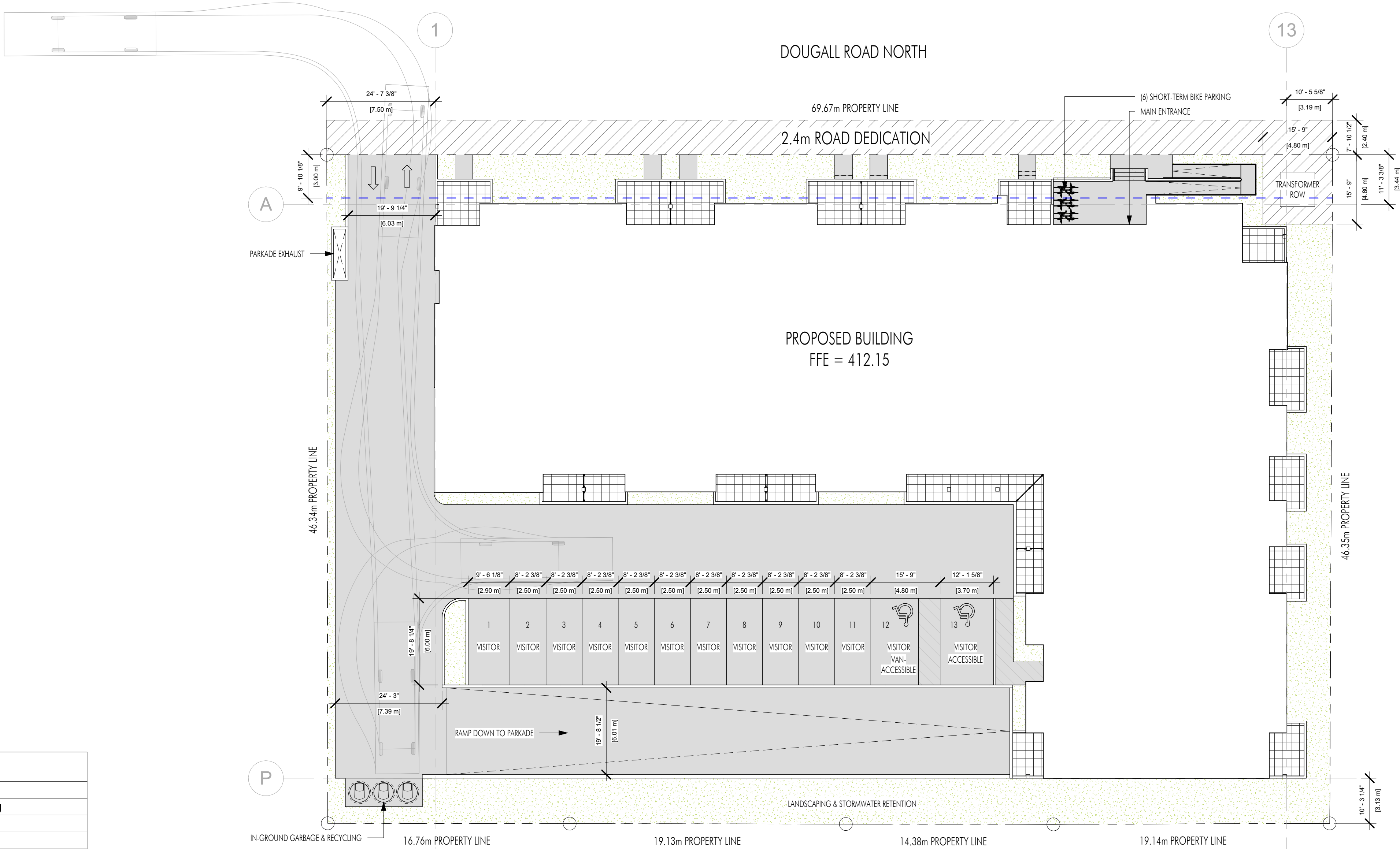
PARKING	
COUNT	TYPE
1	ACCESSIBLE (VAN) - 90 deg
2	ACCESSIBLE - 90 deg
1	CAR-SHARE
46	REGULAR - 90 deg
49	SMALL - 90 deg
TOTAL: 99	

UNIT CALCULATIONS			
UNIT	# OF BEDROOMS	UNIT AREA	PRIVATE AMENITY SPACE
101	3	853 SF	73 SF
102	BACHELOR	291 SF	108 SF
103	1	515 SF	87 SF
104	1	467 SF	85 SF
105	2	745 SF	89 SF
106	1	513 SF	63 SF
107	2	813 SF	86 SF
108	1	504 SF	69 SF
109	1	638 SF	100 SF
110	2	688 SF	174 SF
111	1	640 SF	113 SF
112	2	734 SF	70 SF
113	1	640 SF	113 SF
114	BACHELOR	290 SF	70 SF
115	1	640 SF	113 SF
116	2	734 SF	58 SF
117	1	640 SF	113 SF
118	2	762 SF	58 SF
119	2	795 SF	108 SF
201	3	858 SF	84 SF
202	BACHELOR	291 SF	78 SF
203	1	515 SF	61 SF
204	1	467 SF	83 SF
205	2	745 SF	65 SF
206	1	513 SF	61 SF
207	2	813 SF	75 SF
208	1	504 SF	75 SF

UNIT CALCULATIONS			
UNIT	# OF BEDROOMS	UNIT AREA	PRIVATE AMENITY SPACE
209	1	640 SF	72 SF
210	1	640 SF	72 SF
211	2	688 SF	167 SF
212	1	640 SF	72 SF
213	2	734 SF	68 SF
214	1	640 SF	72 SF
215	BACHELOR	290 SF	68 SF
216	1	640 SF	65 SF
217	2	734 SF	57 SF
218	1	640 SF	65 SF
219	3	941 SF	75 SF
220	2	769 SF	57 SF
301	3	858 SF	84 SF
302	BACHELOR	291 SF	78 SF
303	1	515 SF	61 SF
304	1	467 SF	83 SF
305	2	745 SF	65 SF
306	1	513 SF	61 SF
307	2	795 SF	75 SF
308	1	504 SF	75 SF
309	1	640 SF	72 SF
310	1	640 SF	72 SF
311	2	688 SF	167 SF
312	1	640 SF	72 SF
313	2	734 SF	68 SF
314	1	640 SF	72 SF
315	BACHELOR	290 SF	68 SF

UNIT CALCULATIONS			
UNIT	# OF BEDROOMS	UNIT AREA	PRIVATE AMENITY SPACE
316	1	640 SF	65 SF
317	2	734 SF	57 SF
318	1	640 SF	65 SF
319	3	941 SF	75 SF
320	2	769 SF	57 SF
401	3	858 SF	84 SF
402	BACHELOR	291 SF	78 SF
403	1	515 SF	61 SF
404	1	467 SF	83 SF
405	2	745 SF	65 SF
406	1	513 SF	61 SF
407	2	813 SF	75 SF
408	1	504 SF	75 SF
409	1	640 SF	72 SF
410	1	640 SF	72 SF
411	2	688 SF	167 SF
412	1	640 SF	72 SF
413	2	734 SF	68 SF
414	1	640 SF	72 SF
415	BACHELOR	290 SF	68 SF
416	1	640 SF	65 SF
417	2	734 SF	57 SF
418	1	640 SF	65 SF
419	3	941 SF	75 SF
420	2	769 SF	57 SF
501	3	858 SF	84 SF
502	BACHELOR	291 SF	78 SF


UNIT CALCULATIONS			
UNIT	# OF BEDROOMS	UNIT AREA	PRIVATE AMENITY SPACE
503	1	515 SF	61 SF
504	1	467 SF	83 SF
505	2	745 SF	65 SF
506	1	513 SF	61 SF
507	2	813 SF	75 SF
508	1	504 SF	75 SF
509	1	640 SF	72 SF
510	1	640 SF	72 SF
511	2	688 SF	167 SF
512	1	640 SF	72 SF
513	2	734 SF	68 SF
514	1	640 SF	72 SF
515	BACHELOR	290 SF	68 SF
516	1	640 SF	65 SF
517	2	734 SF	57 SF
518	1	640 SF	65 SF
519	3	941 SF	75 SF
520	2	769 SF	57 SF
601	BACHELOR	291 SF	63 SF
602	1	474 SF	162 SF
603	1	467 SF	85 SF
604	2	671 SF	99 SF
605	1	512 SF	69 SF
606	2	747 SF	694 SF
607	1	427 SF	171 SF
TOTAL UNIT AREAS		66310 SF	



UNIT COUNTS			
UNIT TYPE	UNIT COUNT	AVERAGE AREA	TOTAL AREA
BACHELOR	11	27.0 m²	296.8 m²
1 BED	53	53.2 m²	2,821.5 m²
2 BED	33	69.3 m²	2,286.4 m²
3 BED	9	83.0 m²	747.0 m²
	106		6,151.8 m²

AREA SCHEDULE																		
LEVEL	GROSS FLOOR AREA (EXTERIOR OF WALL)		GROSS FLOOR AREA		STORAGE (LEASABLE)		RESIDENTIAL (LEASABLE)								TOTAL (LEASABLE)		AMENITIES	
	m2	ft2	m2	ft2	m2	ft2	BACHELOR		1 BED		2 BED		3 BED		m2	ft2	m2	ft2
							m²	ft²	m²	ft²	m2	ft2	m2	ft2				
PARKADE																		
PARKADE	2,638.8 m²	28,404 ft²	2,582.0 m²	27,792 ft²	0.0 m²	0 ft²	0.0 m²	0 ft²	0.0 m²	0 ft²	0.0 m²	0 ft²	0.0 m²	0 ft²	0.0 m²	0 ft²	0.0 m²	0 ft²
	2,638.8 m²	28,404 ft²	2,582.0 m²	27,792 ft²	0.0 m²	0 ft²	0.0 m²	0 ft²	0.0 m²	0 ft²	0.0 m²	0 ft²	0.0 m²	0 ft²			0.0 m²	0 ft²
LEVEL 1																		
LEVEL 1	1,421.4 m²	15,300 ft²	1,383.6 m²	14,893 ft²	17.8 m²	192 ft²	54.0 m²	581 ft²	482.6 m²	5,195 ft²	489.5 m²	5,269 ft²	79.2 m²	853 ft²	1,123.2 m²	12,090 ft²	162.7 m²	1,751 ft²
	1,421.4 m²	15,300 ft²	1,383.6 m²	14,893 ft²	17.8 m²	192 ft²	54.0 m²	581 ft²	482.6 m²	5,195 ft²	489.5 m²	5,269 ft²	79.2 m²	853 ft²			162.7 m²	1,751 ft²
LEVEL 2																		
LEVEL 2	1,426.5 m²	15,355 ft²	1,388.7 m²	14,948 ft²	17.8 m²	192 ft²	54.0 m²	581 ft²	541.1 m²	5,824 ft²	416.3 m²	4,481 ft²	166.9 m²	1,797 ft²	1,196.1 m²	12,875 ft²	138.6 m²	1,492 ft²
	1,426.5 m²	15,355 ft²	1,388.7 m²	14,948 ft²	17.8 m²	192 ft²	54.0 m²	581 ft²	541.1 m²	5,824 ft²	416.3 m²	4,481 ft²	166.9 m²	1,797 ft²			138.6 m²	1,492 ft²
LEVEL 3																		
LEVEL 3	1,426.5 m²	15,355 ft²	1,388.7 m²	14,948 ft²	17.8 m²	192 ft²	54.0 m²	581 ft²	541.1 m²	5,824 ft²	416.3 m²	4,481 ft²	166.9 m²	1,797 ft²	1,196.1 m²	12,875 ft²	138.6 m²	1,492 ft²
	1,426.5 m²	15,355 ft²	1,388.7 m²	14,948 ft²	17.8 m²	192 ft²	54.0 m²	581 ft²	541.1 m²	5,824 ft²	416.3 m²	4,481 ft²	166.9 m²	1,797 ft²			138.6 m²	1,492 ft²
LEVEL 4																		
LEVEL 4	1,426.5 m²	15,355 ft²	1,388.7 m²	14,948 ft²	17.8 m²	192 ft²	54.0 m²	581 ft²	541.1 m²	5,824 ft²	416.3 m²	4,481 ft²	166.9 m²	1,797 ft²	1,196.1 m²	12,875 ft²	138.6 m²	1,492 ft²
	1,426.5 m²	15,355 ft²	1,388.7 m²	14,948 ft²	17.8 m²	192 ft²	54.0 m²	581 ft²	541.1 m²	5,824 ft²	416.3 m²	4,481 ft²	166.9 m²	1,797 ft²			138.6 m²	1,492 ft²
LEVEL 5																		
LEVEL 5	1,426.5 m²	15,355 ft²	1,388.7 m²	14,948 ft²	17.8 m²	192 ft²	54.0 m²	581 ft²	541.1 m²	5,824 ft²	416.3 m²	4,481 ft²	166.9 m²	1,797 ft²	1,196.1 m²	12,875 ft²	138.6 m²	1,492 ft²
	1,426.5 m²	15,355 ft²	1,388.7 m²	14,948 ft²	17.8 m²	192 ft²	54.0 m²	581 ft²	541.1 m²	5,824 ft²	416.3 m²	4,481 ft²	166.9 m²	1,797 ft²			138.6 m²	1,492 ft²
LEVEL 6																		
LEVEL 6	599.8 m²	6,456 ft²	579.4 m²	6,237 ft²	17.8 m²	192 ft²	26.9 m²	290 ft²	174.6 m²	1,879 ft²	131.7 m²	1,418 ft²	0.0 m²	0 ft²	351.1 m²	3,779 ft²	553.3 m²	5,956 ft²
	599.8 m²	6,456 ft²	579.4 m²	6,237 ft²	17.8 m²	192 ft²	26.9 m²	290 ft²	174.6 m²	1,879 ft²	131.7 m²	1,418 ft²	0.0 m²	0 ft²			553.3 m²	5,956 ft²
ROOF																		
ROOF	32.2 m²	347 ft²	26.1 m²	281 ft²	0.0 m²	0 ft²	0.0 m²	0 ft²	0.0 m²	0 ft²	0.0 m²	0 ft²	0.0 m²	0 ft²	0.0 m²	0 ft²	0.0 m²	0 ft²
	32.2 m²	347 ft²	26.1 m²	281 ft²	0.0 m²	0 ft²	0.0 m²	0 ft²	0.0 m²	0 ft²	0.0 m²	0 ft²	0.0 m²	0 ft²			0.0 m²	0 ft²
GRAND TOTAL																		
GRAND TOTAL	10,398.4 m²	111,927 ft²	10,126.0 m²	108,995 ft²	107.0 m²	1,152 ft²	296.8 m²	3,195 ft²	2,821.5 m²	30,370 ft²	2,286.4 m²	24,611 ft²	747.0 m²	8,041 ft²	6,258.8 m²	67,369 ft²	1,270.4 m²	13,675 ft²

*Unless otherwise noted, all areas are calculated to finished interior of exterior wall.



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REVISION NO., DATE AND DESCRIPTION

01.13.25 FOR REVIEW

01.17.25 FOR REVIEW

01.20.25 FOR DP

PLOT DATE

1/20/2025 11:53:02 AM

PROJECT

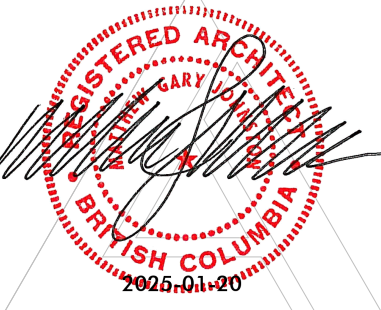
465-495 DOUGALL ROAD

DRAWING TITLE

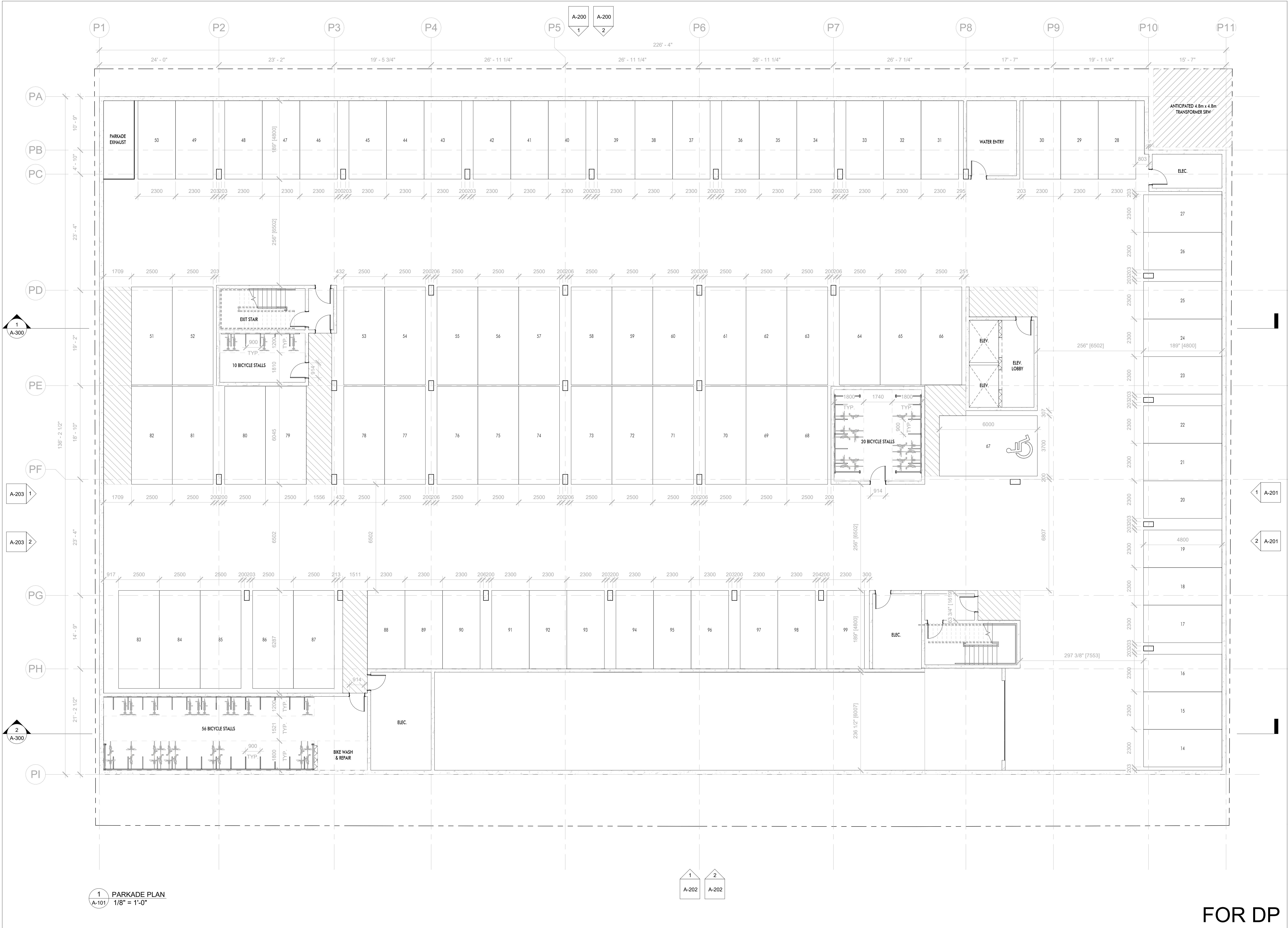
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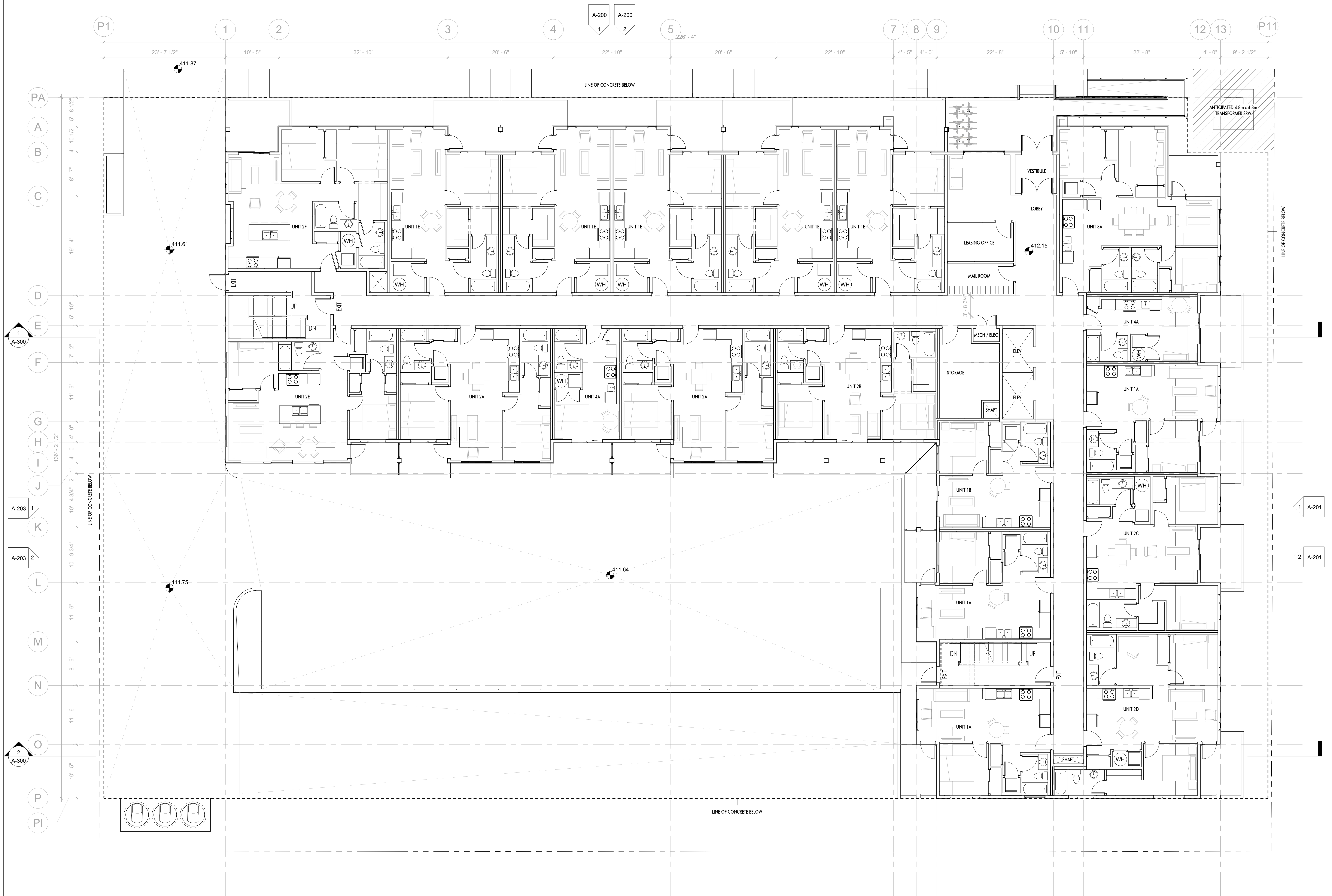
DRAWING NO.

A-002



FOR DP





1 LEVEL 1 PLAN
A-102 1/8" = 1'-0"

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01.17.25	FOR REVIEW	
01.20.25	FOR DP	

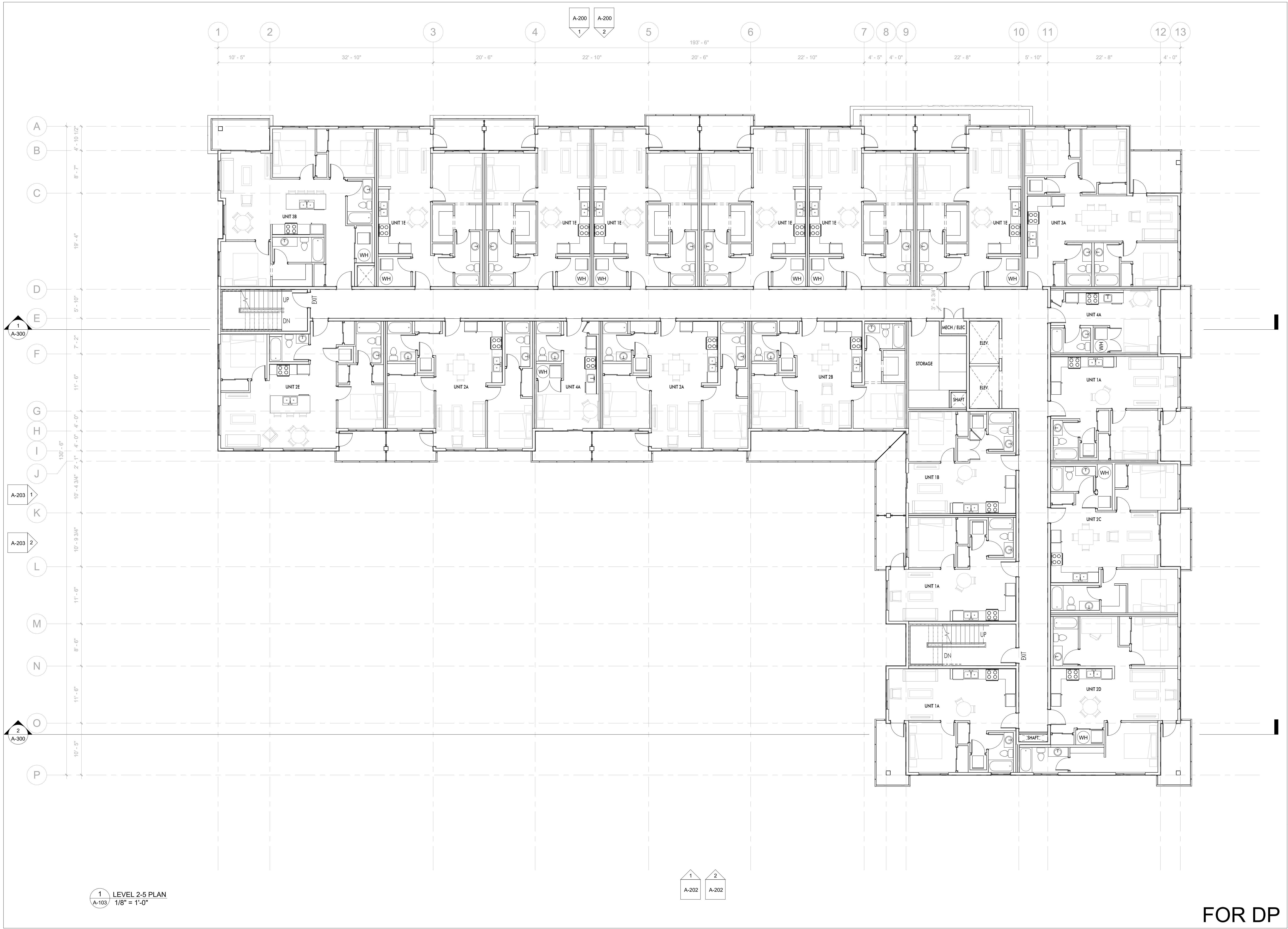
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PROJECT
465-495 DOUGALL ROAD

DRAWING TITLE
LEVEL 1 PLAN

DRAWING NO.
A-102

FOR DP



1 LEVEL 2-5 PLAN
A-103 1/8" = 1'-0"

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REVISION NO., DATE AND DESCRIPTION

01.13.25	FOR REVIEW
01.17.25	FOR REVIEW
01.20.25	FOR DP

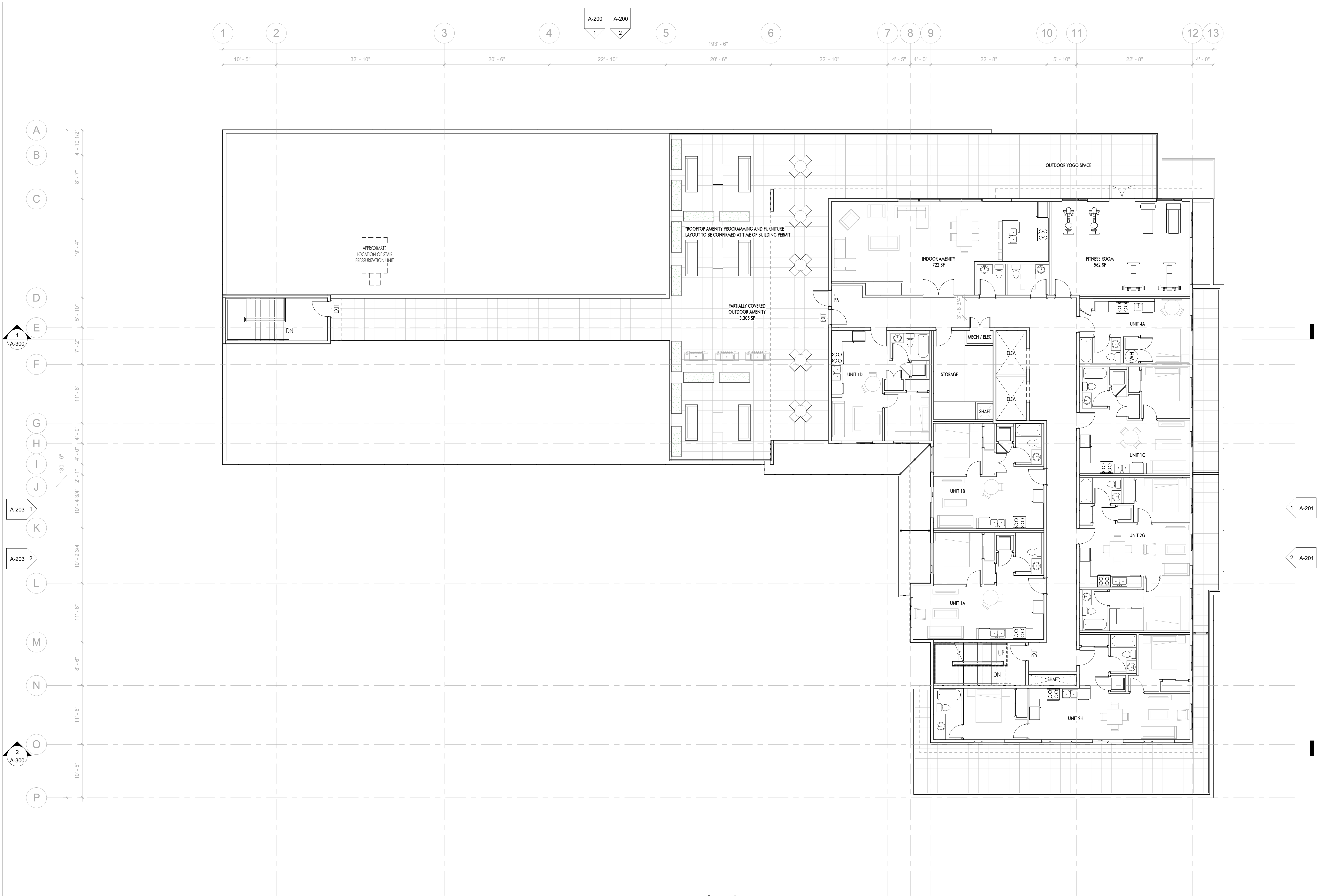
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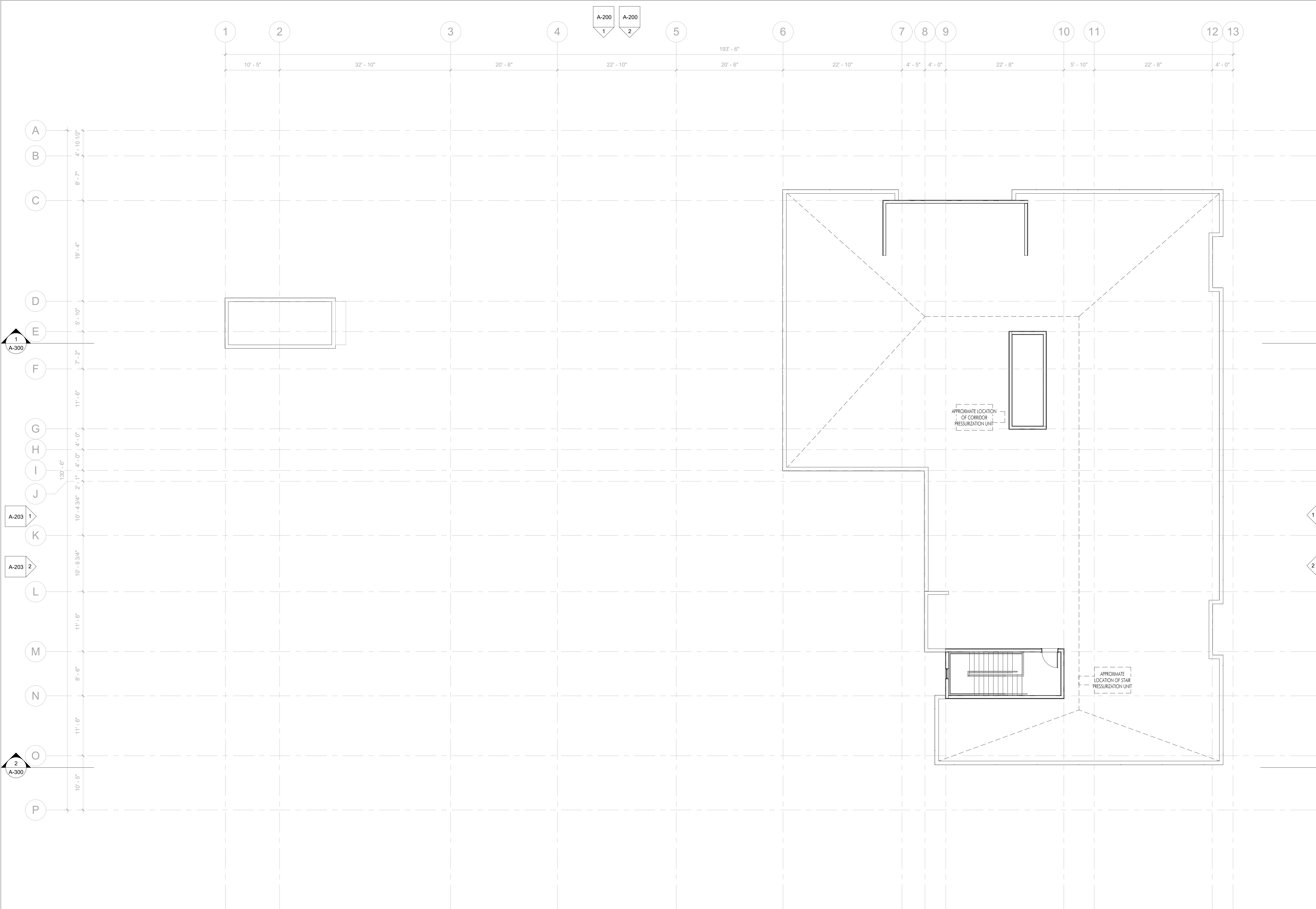
PROJECT
465-495 DOUGALL ROAD

DRAWING TITLE
LEVEL 2-5
PLAN

DRAWING NO.
A-103

FOR DP





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01.13.25 FOR REVIEW
01.17.25 FOR REVIEW
01.20.25 FOR DP

PLOT DATE
1/20/2025 11:53:05 AM

PROJECT
465-495 DOUGALL ROAD

DRAWING TITLE
ROOF PLAN

DRAWING NO.
A-108



1 ROOF PLAN
A-108 1/8" = 1'-0"

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REVISION NO., DATE AND DESCRIPTION
01.13.25 FOR REVIEW
01.17.25 FOR REVIEW
01.20.25 FOR DP

PLOT DATE
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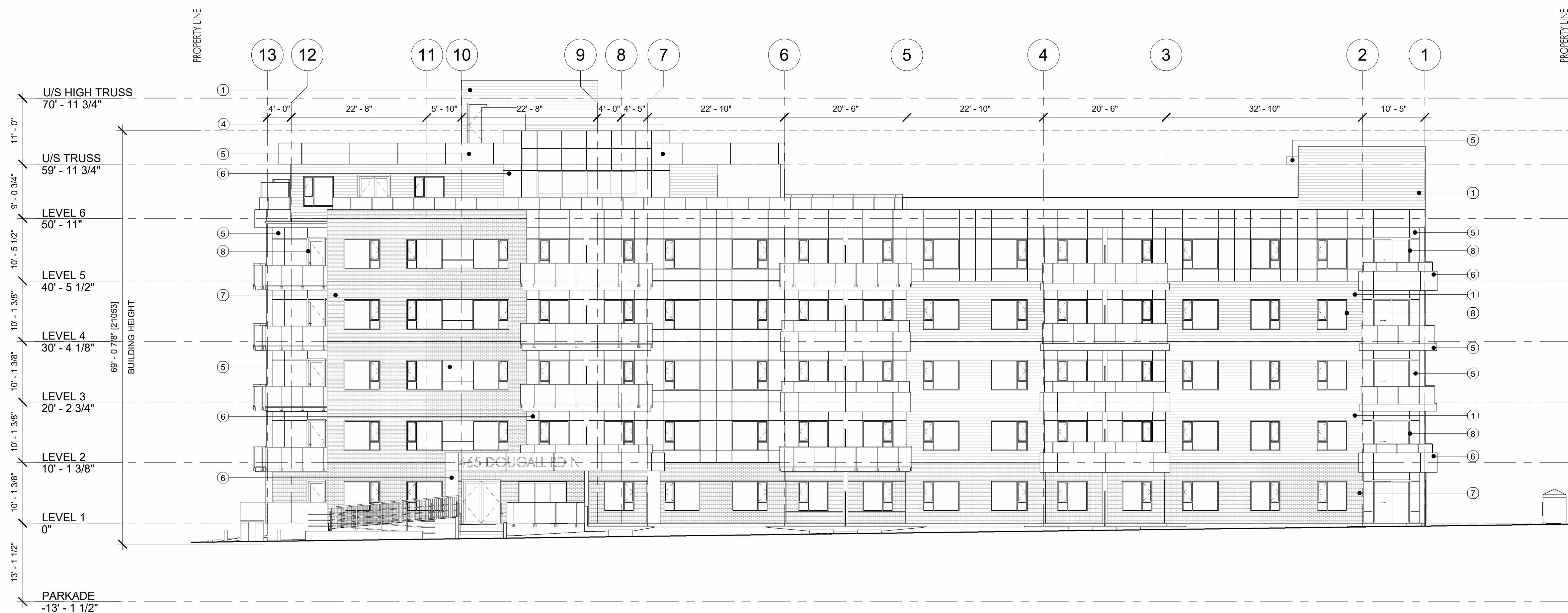
PROJECT
465-495 DOUGALL ROAD

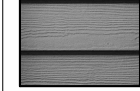


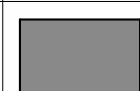
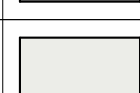
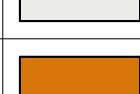

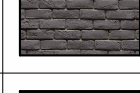
DRAWING TITLE
WEST
ELEVATIONS

DRAWING NO.
A-200



FOR DP

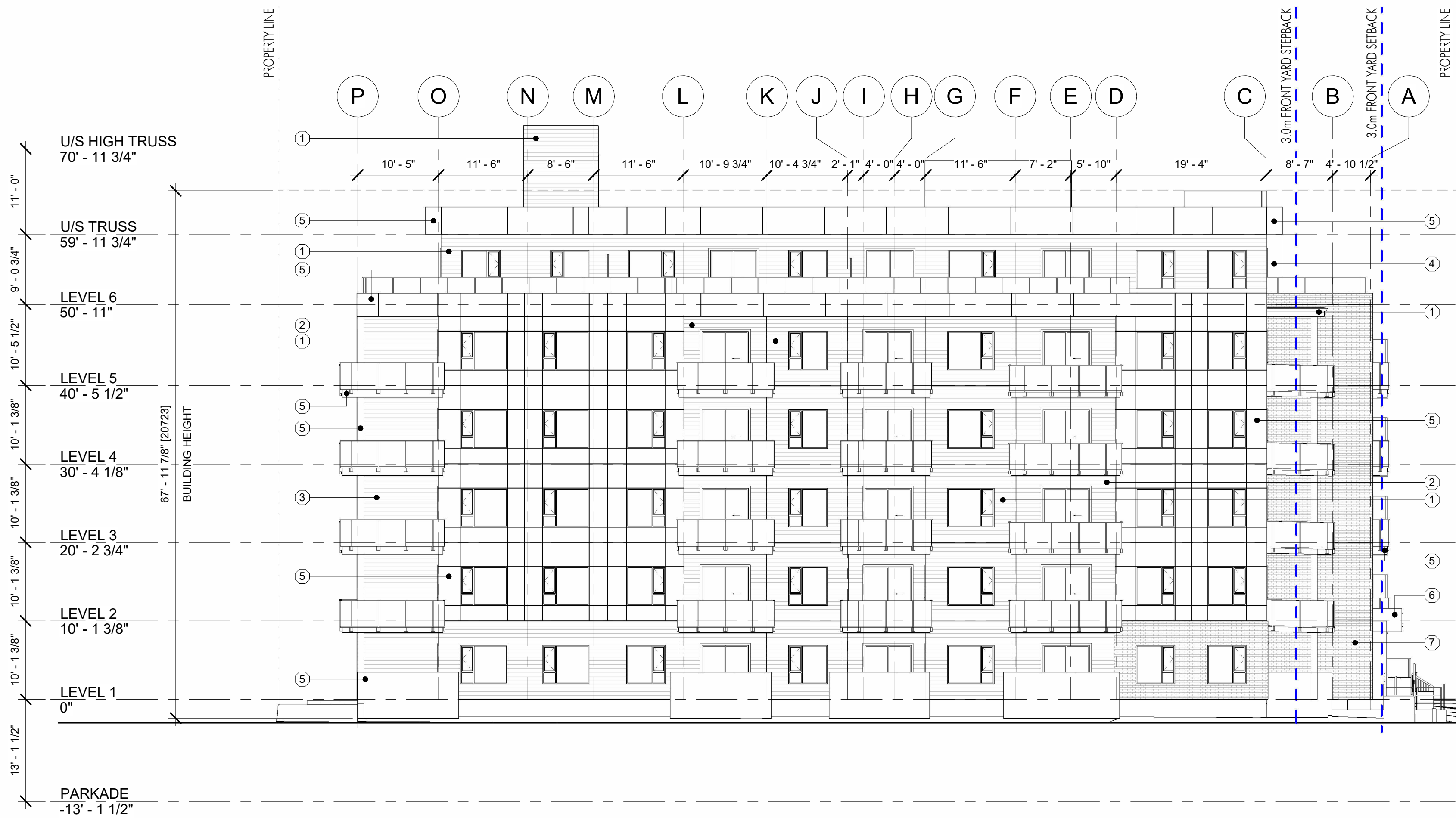


EXTERIOR FINISHES	
IMAGE	MATERIAL
	FIBRE CEMENT CLADDING: HARDIE LAP, GRAY SLATE
	FIBRE CEMENT CLADDING: HARDIE LAP, ARCTIC WHITE
	FIBRE CEMENT CLADDING: HARDIE LAP WITH FISHER COATING, CEDARTONE
	FIBRE CEMENT CLADDING: HARDIE PANEL, GRAY SLATE
	FIBRE CEMENT CLADDING: HARDIE PANEL, ARCTIC WHITE
	FIBRE CEMENT CLADDING: HARDIE PANEL TO MATCH FISHER COATING, CEDARTONE
	BRICK VENEER: CULTURED STONE, CARBON
	WINDOWS, DOORS, RAILINGS, FASCIA: BLACK

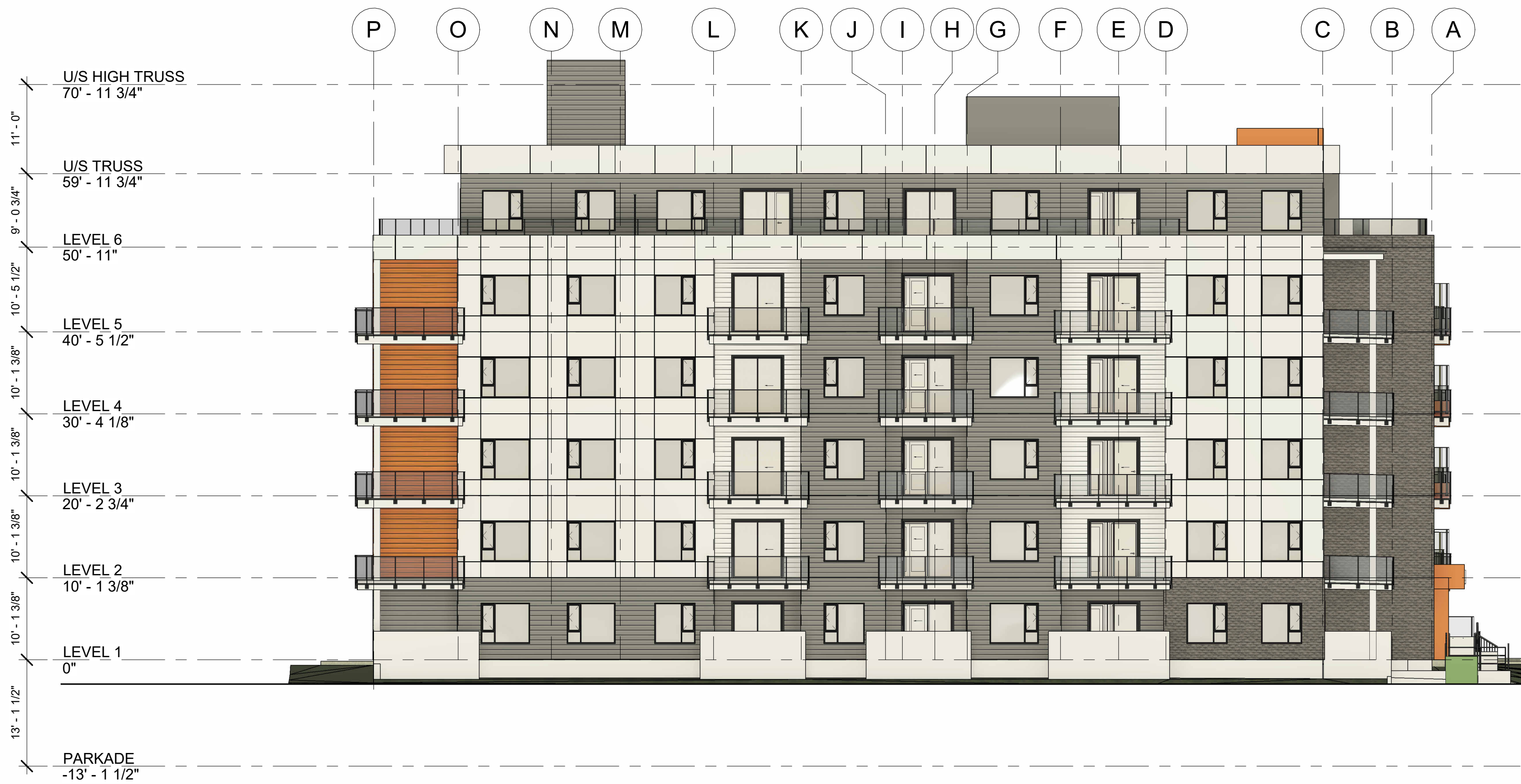
1 WEST ELEVATION
A-200 3/32" = 1'-0"



2 WEST ELEVATION (COLOUR)
A-200 3/32" = 1'-0"



1 NORTH ELEVATION
A-201 3/32" = 1'-0"



2 NORTH ELEVATION (COLOUR)
A-201 3/32" = 1'-0"

EXTERIOR FINISHES	
IMAGE	MATERIAL
1	FIBRE CEMENT CLADDING: HARDIE LAP, GRAY SLATE
2	FIBRE CEMENT CLADDING: HARDIE LAP, ARCTIC WHITE
3	FIBRE CEMENT CLADDING: HARDIE LAP WITH FISHER COATING, CEDARTONE
4	FIBRE CEMENT CLADDING: HARDIE PANEL, GRAY SLATE
5	FIBRE CEMENT CLADDING: HARDIE PANEL, ARCTIC WHITE
6	FIBRE CEMENT CLADDING: HARDIE PANEL TO MATCH FISHER COATING, CEDARTONE
7	BRICK VENEER: CULTURED STONE, CARBON
8	WINDOWS, DOORS, RAILINGS, FASCIA: BLACK

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01.17.25 FOR REVIEW
01.20.25 FOR DP

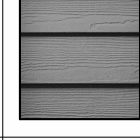


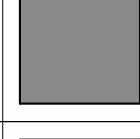




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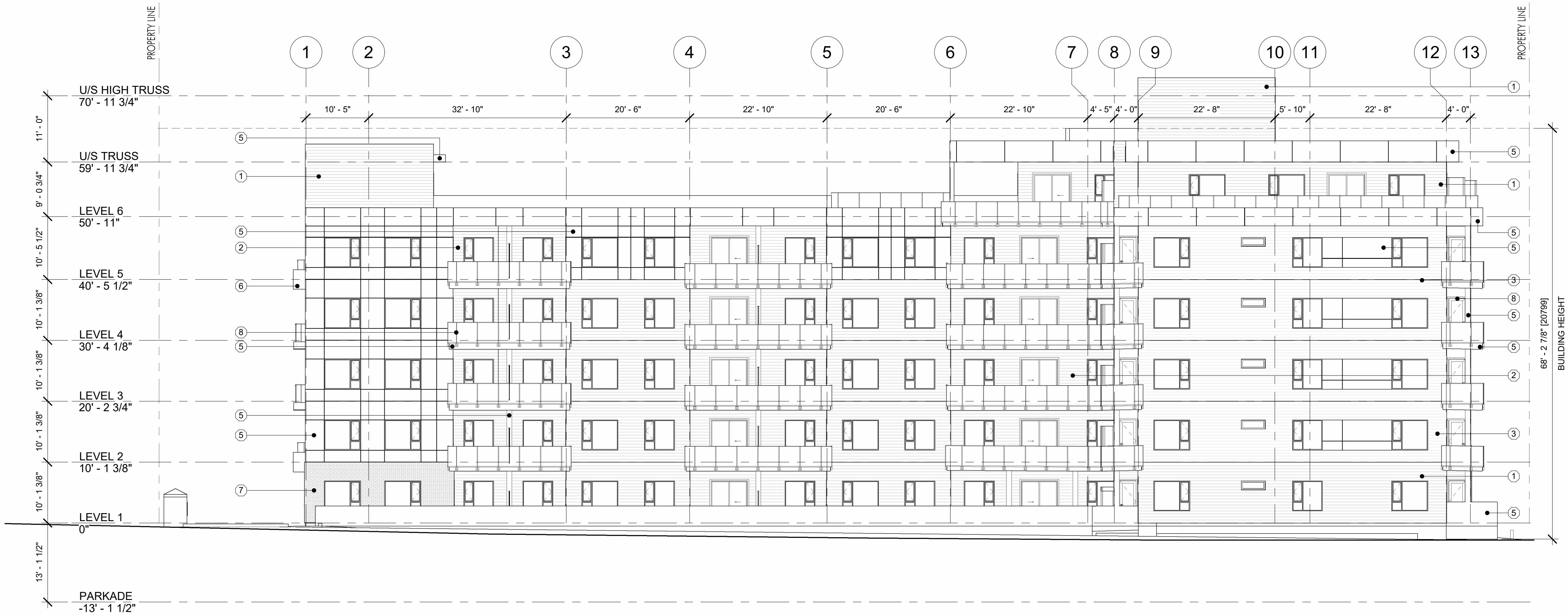
PROJECT
465-495 DOUGALL ROAD

DRAWING TITLE
EAST
ELEVATIONS

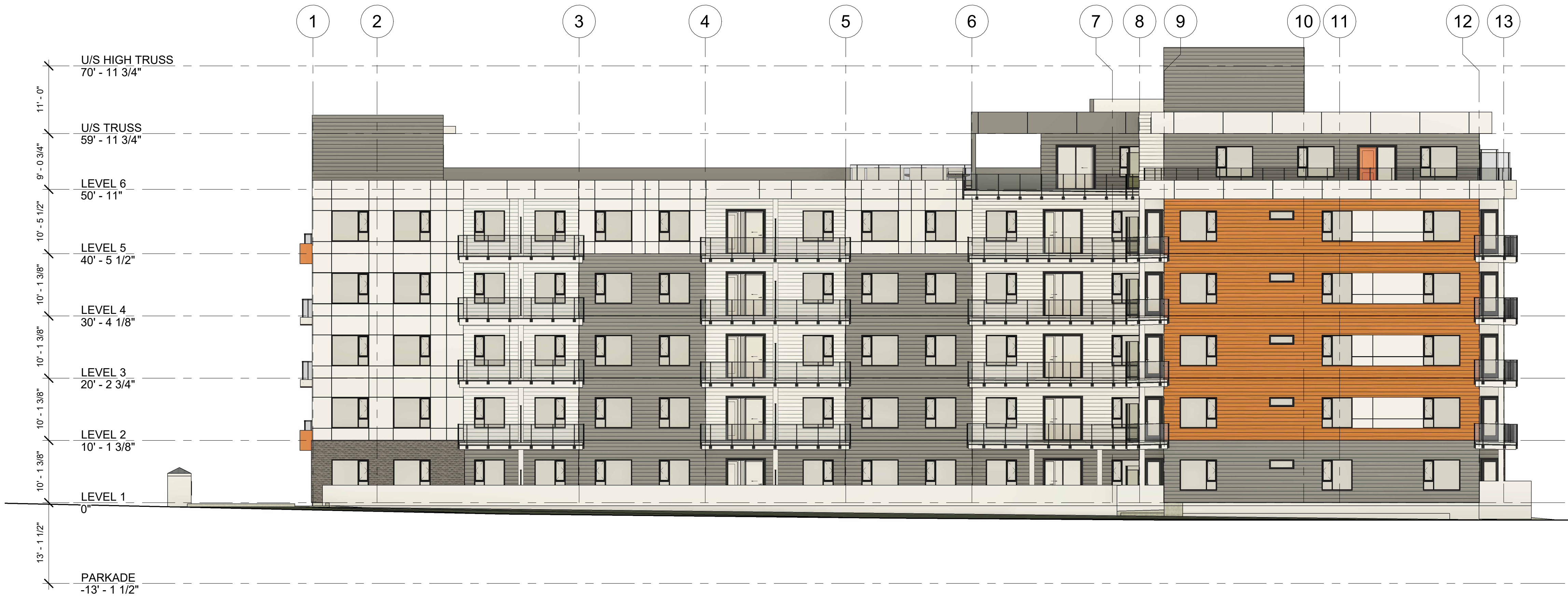
DRAWING NO.
A-202



EXTERIOR FINISHES	
IMAGE	MATERIAL
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	FIBRE CEMENT CLADDING: HARDIE LAP WITH FISHER COATING, CEDARTONE
	FIBRE CEMENT CLADDING: HARDIE PANEL, GRAY SLATE
	FIBRE CEMENT CLADDING: HARDIE PANEL, ARCTIC WHITE
	FIBRE CEMENT CLADDING: HARDIE PANEL TO MATCH FISHER COATING, CEDARTONE
	BRICK VENEER: CULTURED STONE, CARBON
	WINDOWS, DOORS, RAILINGS, FASCIA: BLACK

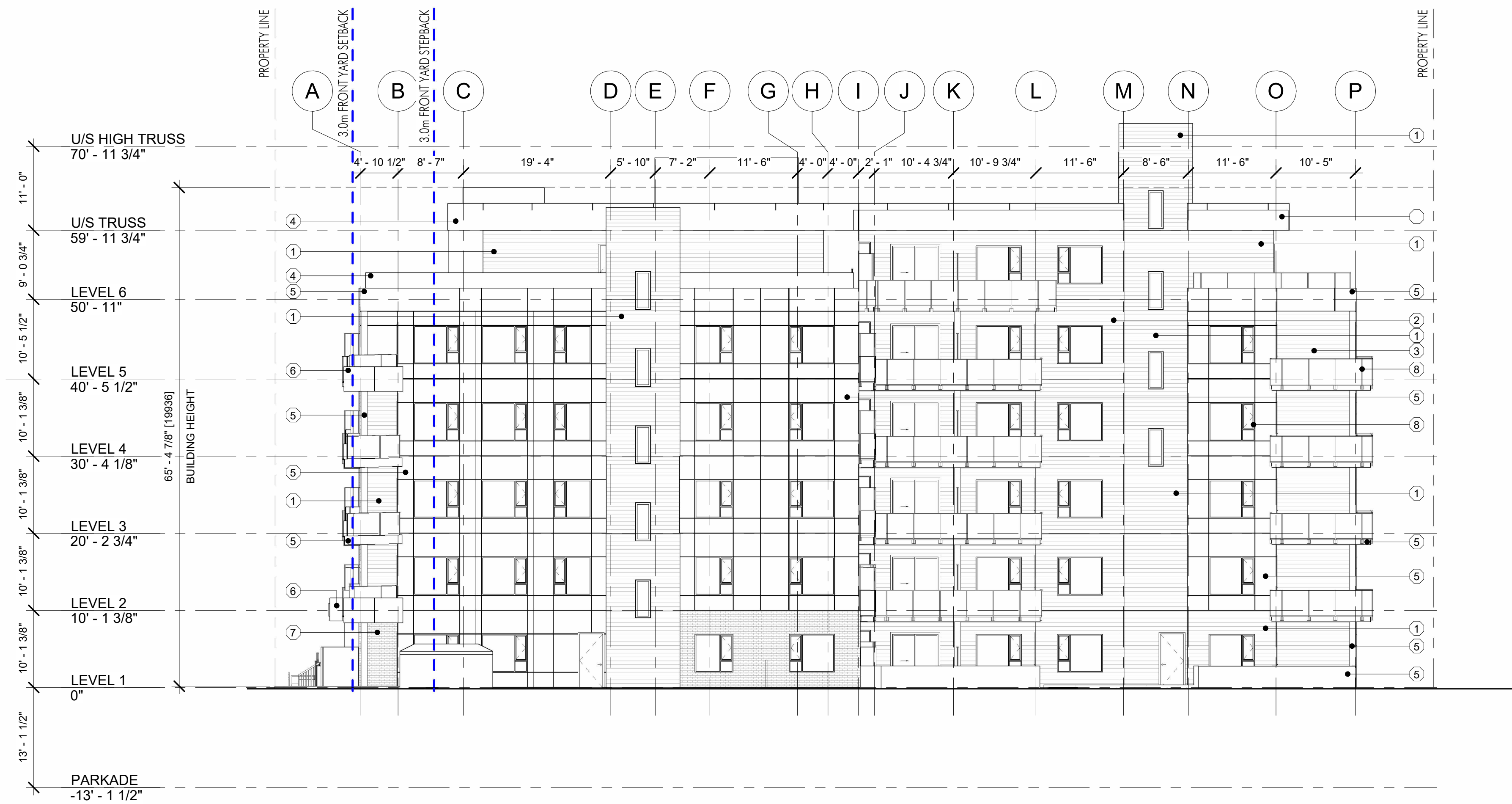


1 EAST ELEVATION
A-202 3/32" = 1'-0"



2 EAST ELEVATION (COLOUR)
A-202 3/32" = 1'-0"

FOR DP

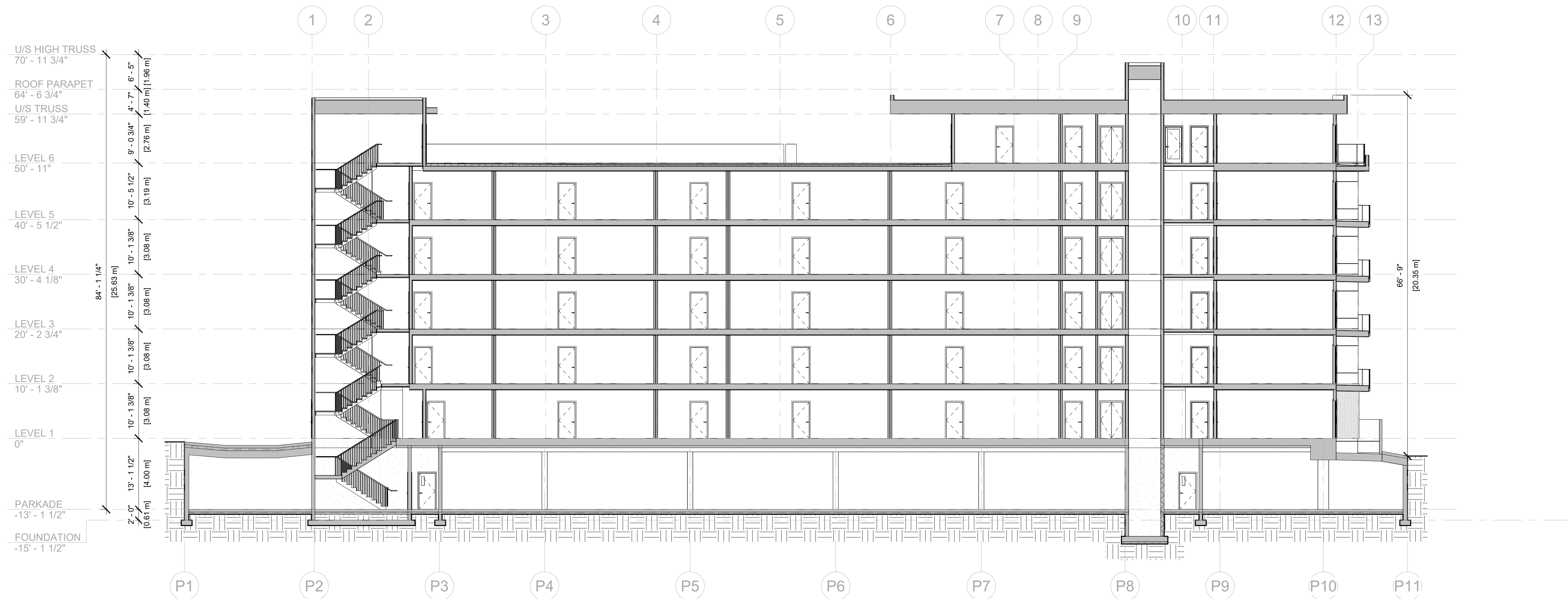


1 SOUTH ELEVATION
A-203 3/32" = 1'-0"

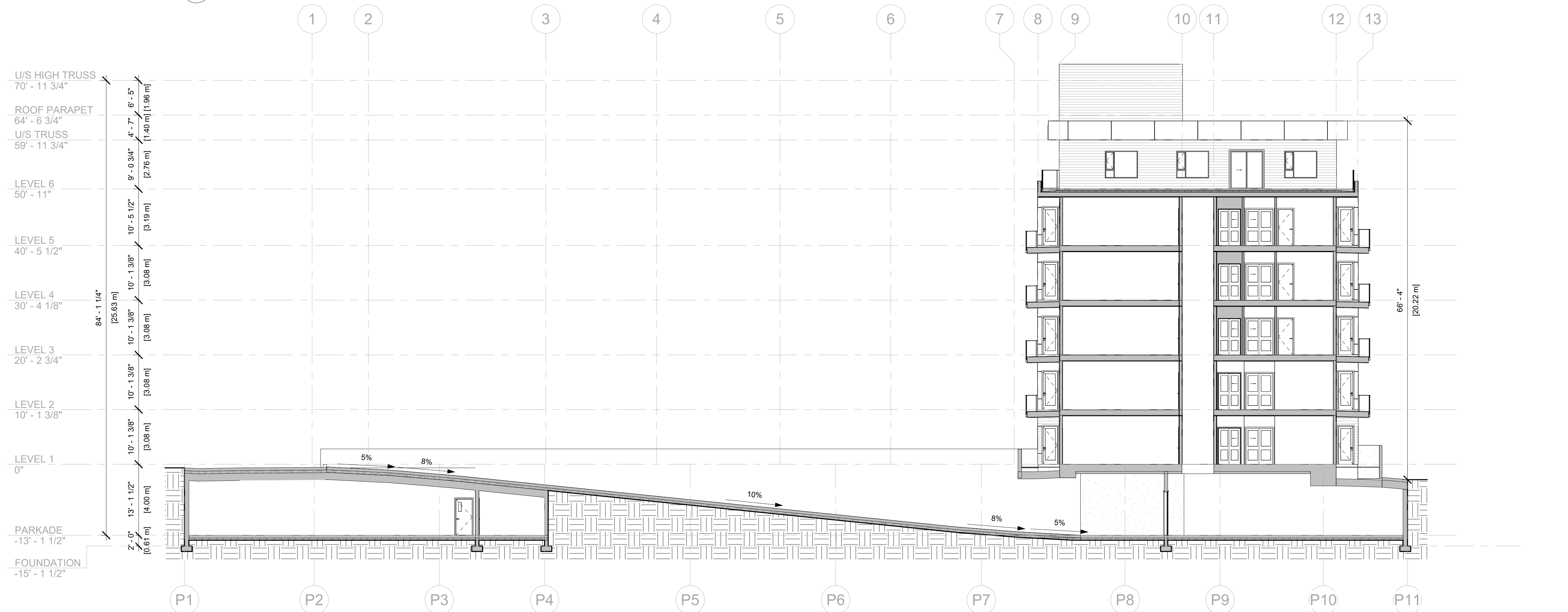


2 SOUTH ELEVATION (COLOUR)
A-203 3/32" = 1'-0"

EXTERIOR FINISHES	
IMAGE	MATERIAL
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	FIBRE CEMENT CLADDING: HARDIE LAP, ARCTIC WHITE
	FIBRE CEMENT CLADDING: HARDIE LAP WITH FISHER COATING, CEDARTONE
	FIBRE CEMENT CLADDING: HARDIE PANEL, GRAY SLATE
	FIBRE CEMENT CLADDING: HARDIE PANEL, ARCTIC WHITE
	FIBRE CEMENT CLADDING: HARDIE PANEL TO MATCH FISHER COATING, CEDARTONE
	BRICK VENEER: CULTURED STONE, CARBON
	WINDOWS, DOORS, RAILINGS, FASCIA: BLACK



1 SECTION A
A-300 3/32" = 1'-0"



2 SECTION B
A-300 3/32" = 1'-0"





REVISION NO., DATE AND DESCRIPTION	
01.13.25	FOR REVIEW
01.17.25	FOR REVIEW
01.20.25	FOR DP

PLOT DATE
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PROJECT
465-495 DOUGALL ROAD


DRAWING TITLE
RENDERINGS

DRAWING NO.
A-401



FOR DP





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01.17.25	FOR REVIEW	
01.20.25	FOR DP	

PLOT DATE
1/20/2025 12:00:46 PM

PROJECT
465-495 DOUGALL ROAD

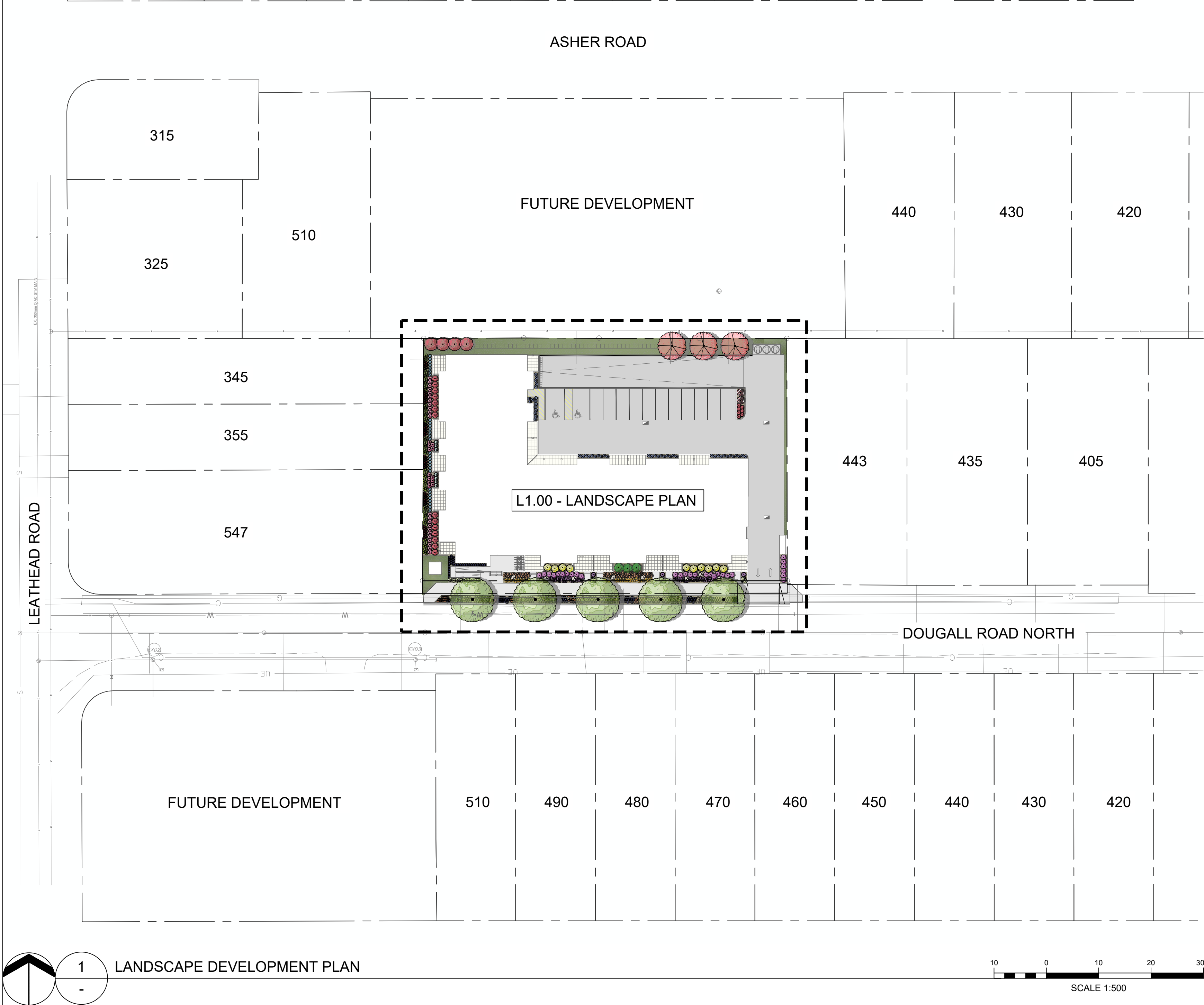
DRAWING TITLE
RENDERINGS

DRAWING NO.
A-402



FOR DP





1 LANDSCAPE DEVELOPMENT PLAN

LIST OF DRAWINGS

No.	DRAWING
L0.00	LANDSCAPE DEVELOPMENT PLAN
L1.00	LANDSCAPE PLAN
L1.10	SECTION
L2.00	LANDSCAPE DETAILS
IR 1.0	WATER CONSERVATION PLAN

LANDSCAPE STATISTICS

IN ACCORDANCE WITH THE CITY OF KELOWNA ZONING BYLAW NO. 12375, SECTION 7.2 TREE & LANDSCAPING PLANTING REQUIREMENTS THE FOLLOWING LANDSCAPE PROVISIONS ARE REQUIRED:

MINIMUM NUMBER OF TREES WITHIN LANDSCAPE AREAS:
1 TREE PER 10 LINEAR METRES OF LANDSCAPE AREA

LANDSCAPE AREAS AND BOULEVARDS FOR INFILL HOUSING:
THERE IS NO MINIMUM NUMBER OF TREES ONSITE AND NO MINIMUM SORT LANDSCAPING WITHIN THE FRONT YARD OR FLANKING YARD LANDSCAPE AREA IF LARGE TREES ARE PLANTED WITHIN THE BOULEVARD AND THE BOULEVARD CONTAINS A SIDEWALK OR A SIDEWALK IS INSTALLED.

PROVIDED TREES = 12 TREES
PROVIDED SHRUBS = 50 SHRUBS

PROPOSED UTILITY SETBACK

TREES SHALL BE SETBACK A MINIMUM DISTANCE, MEASURED FROM THE CENTER OF THE TREE TRUNK, FROM ABOVE AND BELOW GRADE UTILITIES AND PROPERTY LINES AS FOLLOWS:

DISTANCE FROM UNDERGROUND STREET LIGHT CONDUIT OR IRRIGATION MAIN	0.6m
DISTANCE FROM OTHER UNDERGROUND UTILITIES	3.0m
DISTANCE FROM LAMP STANDARDS	6.0m
DISTANCE FROM STEEL AND WOODEN UTILITY POLES	3.0m
DISTANCE FROM DRIVEWAYS	1.5m
DISTANCE FROM CATCH BASINS	1.5m
DISTANCE FROM MANHOLES, VALVE BOXES, SERVICES	3.0m
DISTANCE FROM SEWER SERVICE BOXES	3.0m
DISTANCE FROM FIRE HYDRANTS	2.0m
DISTANCE FROM ROAD INTERSECTION	7.0m
DISTANCE FROM CURB FACE	0.5m
DISTANCE FROM SIDEWALK	0.85m
DISTANCE FROM CURB FACE AND SIDE WALK WITH ROOT BARRIER	0.6m
BUILDINGS - FASTIGIATE (COLUMNAR) TREE	2.0m
BUILDINGS - REGULAR CROWN TREE	3.0-5.0m

ON SITE MATERIAL SCHEDULE

SYMBOL	DESCRIPTION	QTY
	100MM DEPTH MULCH ON 600MM DEPTH TOPSOIL	347.1 m²
	SOD ON TOPSOIL	246.7 m²
	~1X1X1 DECORATIVE BOULDER	8

LEGEND

	PROJECT BOUNDARY
	PROPERTY LINE
	WATER LINE
	STORM LINE
	SANITARY LINE
	POWER LINE
	GAS LINE
	TELECOMMUNICATION LINE
	MANHOLE
	CATCH BASIN
	WATER VALVE
	HYDRANT
	TRANSFORMER
	EXTENT OF SOIL CELLS
	PLANT BED
	SOD
	PATIOS
	ASPHALT ROAD
	CONCRETE WALK
	DECORATIVE BOULDER

LANDSCAPE NOTES

1. GENERAL:

- ALL WORK TO CONFORM WITH CANADIAN LANDSCAPE STANDARDS CURRENT EDITION AND CITY OF KELOWNA DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS: LANDSCAPE CONSTRUCTION (CDGSS)
- REFER TO CIVIL ENGINEERING DRAWINGS FOR ALL GRADING UTILITY INFORMATION
- CONTRACTOR IS TO VISIT THE SITE TO CONFIRM ALL SITE CONDITIONS PRIOR TO MOBILIZING FOR CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED TO THE CONSULTANT FOR CLARIFICATION
- LIMITS OF THE WORK ARE TO BE CLEARLY UNDERSTOOD BY THE CONTRACTOR PRIOR TO ANY WORK TAKING PLACE ON SITE. THE CONTRACTOR IS TO CONTACT THE CONSULTANT FOR CLARIFICATION IF REQUIRED
- THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR FURTHER DIRECTION
- LAYOUT IS TO BE APPROVED BY THE CONSULTANT PRIOR TO THE START OF CONSTRUCTION
- ALL MEASUREMENTS ARE IN METRES UNLESS OTHERWISE NOTED
- ANY AMBIGUITY IN THIS DRAWING OR ACCOMPANYING DETAILS IS TO BE REPORTED TO THE CONSULTANT FOR CLARIFICATION. THE CONTRACTOR IS NOT TO PROCEED IN UNCERTAINTY

2. PERMITS AND STANDARDS:

- THE CONTRACTOR IS TO COORDINATE WITH THE CONSULTANT TO ENSURE ALL MILESTONE INSPECTIONS ARE CONDUCTED AS PRESCRIBED IN CDGSS
- ALL ANCILLARY WORK NORMALLY ASSOCIATED WITH THIS TYPE OF CONSTRUCTION SHALL BE DEEMED TO BE PART OF THE CONTRACT

3. SITE WORK:

- CONTRACTOR TO SECURE PERMITS AS REQUIRED BY THE CITY OF KELOWNA FOR ANY HOARDING OR CONSTRUCTION TAKING PLACE ON ROAD RIGHT OF WAY
- ALL CONSTRUCTION ON-SITE MUST OCCUR CONCURRENTLY WITH EROSION CONTROL AND PROTECTION MEASURES TO PREVENT THE POLLUTION, DEGRADATION, OR SILTATION OF NATURAL AREAS, INCLUDING VEGETATION AND WATER COURSES. THIS INCLUDES THE PROVISION OF TEMPORARY FENCING PRIOR TO AND DURING CONSTRUCTION
- ALL EXPENSES OCCURRED FOR PERMITTING ARE TO BE BORNE BY THE CONTRACTOR
- THE CONTRACTOR SHALL SUPPLY ALL MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS. ANY DISCREPANCIES IN QUANTITIES SHALL BE REPORTED TO THE CONSULTANT IMMEDIATELY FOR CLARIFICATION
- NO SUBSTITUTIONS OF MATERIALS, PRODUCTS, OR QUANTITIES SHALL BE PERMITTED WITHOUT PRIOR CONSENT OF THE CONSULTANT
- THE CONTRACTOR IS RESPONSIBLE FOR THE HAULING OF ALL EXCESS MATERIALS OFF THE SITE TO A LOCATION DESIGNATED BY THE CONSULTANT OR THE OWNERS REPRESENTATIVE
- THE CONTRACTOR IS RESPONSIBLE FOR GENERAL SITE CLEAN-UP
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO LANDSCAPED AREAS AND MUST MAKE ALL NECESSARY RESTORATIONS AND REPAIRS.

4. TOPSOIL:

- ALL TOPSOIL MUST CONFORM TO THE CITY OF KELOWNA TOPSOIL REQUIREMENTS
- TOPSOIL TO BE USED TO SPECIFIED DEPTHS FOR ALL GRASSED AREAS, TREE PLANTING, SHRUB BEDS, PERENNIAL AND ANNUAL PLANTING, UNLESS

- OTHERWISE NOTED.
- TOPSOIL SHALL BE OF A NATURAL, FERTILE AGRICULTURAL SOIL OF THE "A" HORIZON LAYER CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHALL BE THE BEST OF QUALITY AND SCREENED.
 - TOPSOIL SHALL BE FREE OF SUBSOIL, CLAY LUMPS, STONES, LIVE PLANTS AND OTHER ROOTS, STICKS OR OTHER EXTRANEEOUS MATTER OVER 50mm IN DIAMETER.
 - TOPSOIL FOR ALL SOD AREAS SHALL CONFORM TO THE FOLLOWING:

• ORGANIC MATTER	5 - 10% BY DRY MASS
• TOXIC CHEMICALS	NONE
• ELECTRICAL CONDUCTIVITY	MAX. 2.0 Ohms PER cm²
• pH VALUE	6.0 - 7.5
• COMPOSITION	SAND 35-60%, SILT 15-50%, CLAY 15-30%

- TOPSOIL FOR ALL PLANTING AREAS SHALL CONFORM TO THE FOLLOWING:

• ORGANIC MATTER	10 - 15% BY DRY MASS
• TOXIC CHEMICALS	NONE
• ELECTRICAL CONDUCTIVITY	MAX. 4.0 Ohms PER cm²
• pH VALUE	6.0 - 7.5
• COMPOSITION	SAND 50-75%, SILT 10-20%, CLAY 0-25%

5. PLANTING:

- ALL PLANT MATERIAL AND WORKMANSHIP IS TO CONFORM TO CANADIAN NURSERY STOCK STANDARDS IN ITS LATEST EDITION
- ALL PLANT MATERIAL IS TO BE NURSERY GROWN STOCK AND SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE CANADIAN NURSERY TRADES ASSOCIATED (CNTA) FOR SIZE, HEIGHT, SPREAD, GRADING, QUALITY, AND METHOD OF CULTIVATION
- ALL PLANTING BEDS TO INCLUDE 100mm DEPTH CONIFEROUS WOOD CHIP MULCH (OR APPROVED EQUAL)
- ALL TREE STAKES ARE TO BE REMOVED AT THE END OF THE ONE YEAR MAINTENANCE AND GUARANTEE PERIOD.

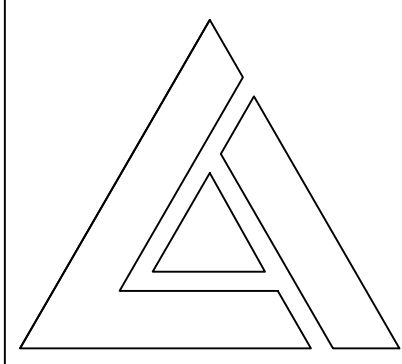
6. SOD NOTES:

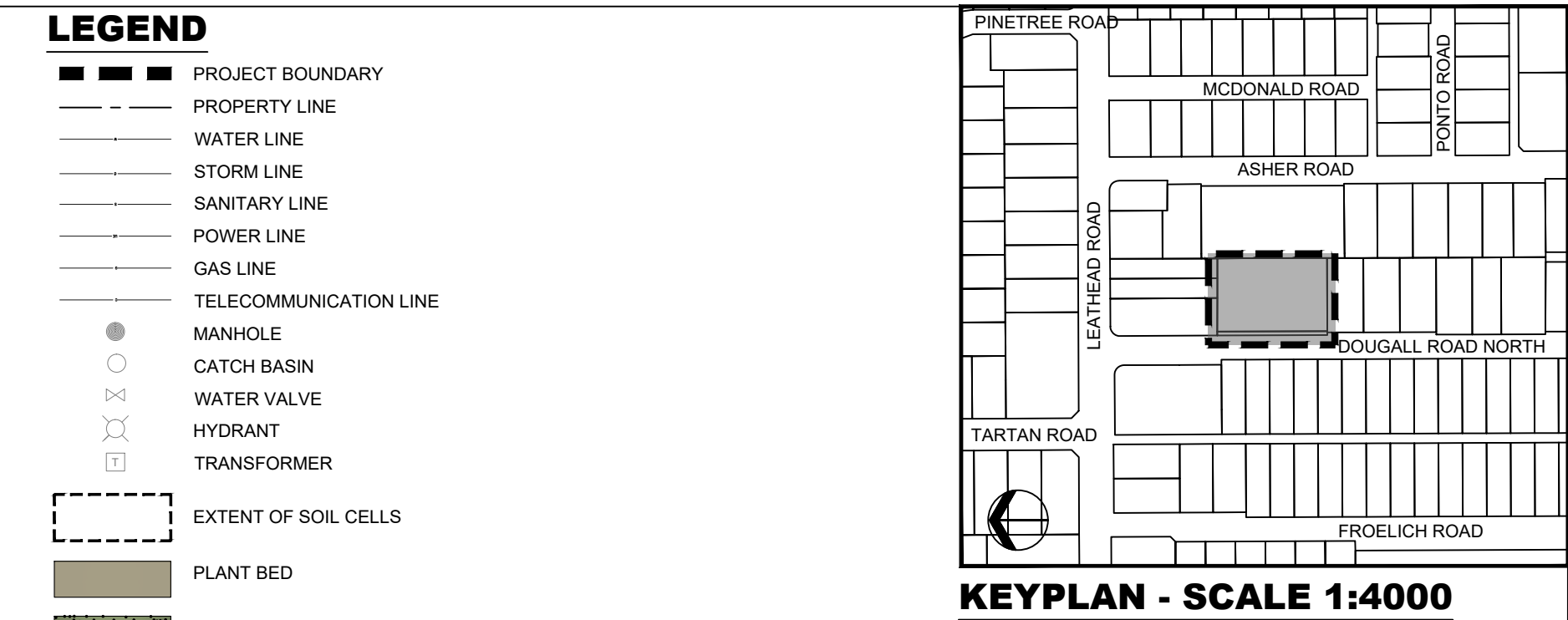
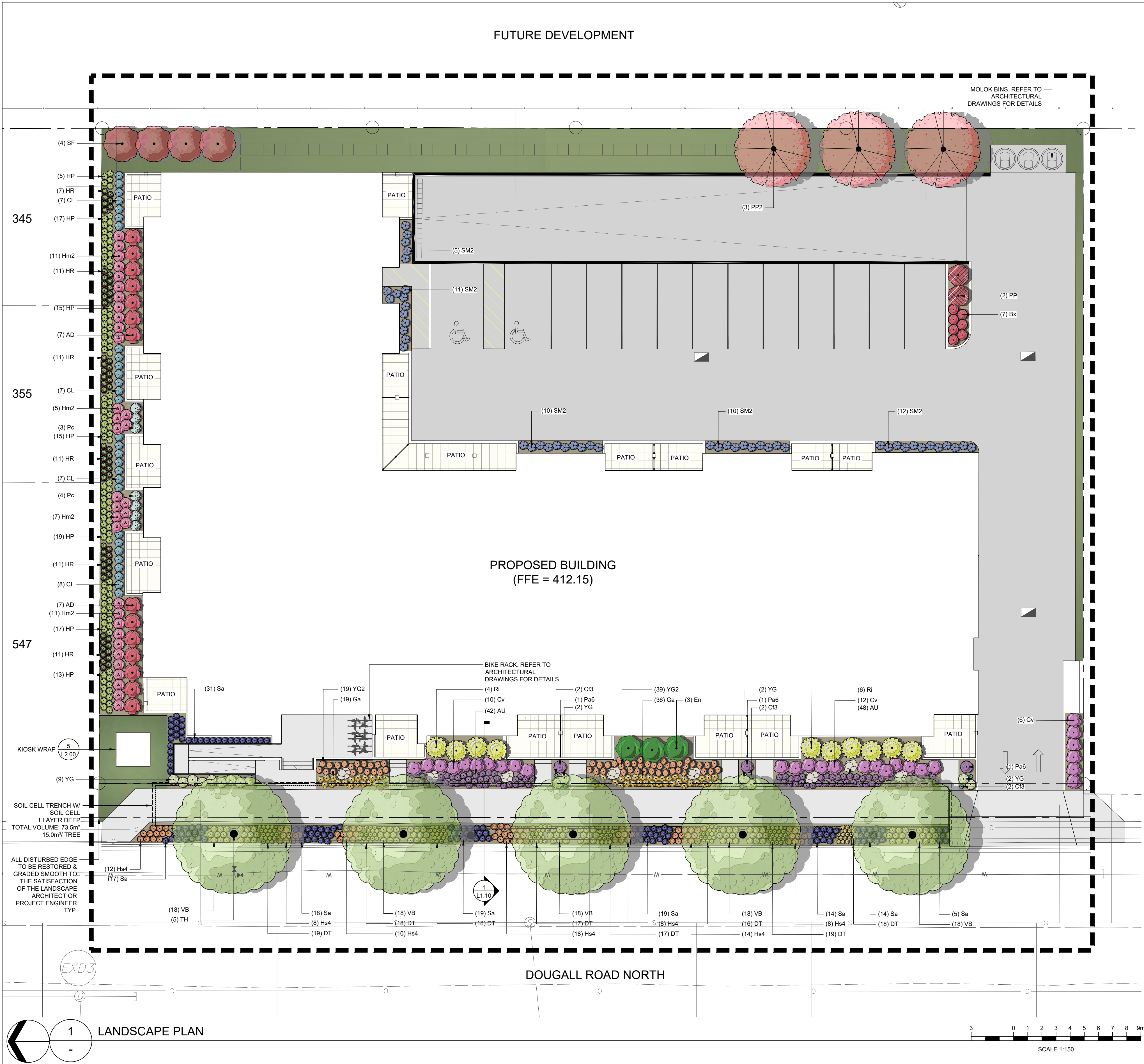
- CERTIFIED NO. 1 CULTIVATED TURF SOD WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEALTHY GROWTH AND DELIVERED 24 HOURS FROM THE TIME OF CUTTING. SO SHOWING SIGNS OF DETERIORATION DUE TO AGE OR LACK OF MOISTURE WILL BE REJECTED. SOD MUST BE FREE OF STONES, BURNS, DRY OR BARE SPOTS, TEARS AND DELIVERED MOIST, CUT IN STRIPS OF UNIFORM WIDTH AND THICKNESS AND OF THE FOLLOWING MIX OR APPROVED EQUAL
- SOD LAYING IS TO OCCUR BETWEEN MAY 1ST - SEPT. 30TH. LAYING OF SOD OUTSIDE THE RECOMMENDED SEASON WILL REQUIRE CONSULTANT APPROVAL PRIOR TO START OF WORK
- PREPARATION, INSTALLATION, FERTILIZATION, WARRANTY AND MAINTENANCE OF SOD IS TO BE IN ACCORDANCE WITH (CDGSS)
- CERTIFIED CANADA NO. 1 MIXTURE, FREE OF DISEASE, WEED SEEDS, OR FOREIGN MATTER. MINIMUM GERMINATION OF 75%, MINIMUM PURITY OF 97% AND CONFORMING TO THE MIXES BELOW OR APPROVED ALTERNATIVES
- ALL AREAS TO RECEIVE SOD ARE TO HAVE TOPSOIL TO A DEPTH OF 130mm

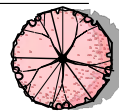
























PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
TREES						
	PP2	3	PERSIAN IRONWOOD	PARROTIA PERSICA	60MM CAL.	(MEDIUM) - B&B
	SF	4	PYRAMIDAL MOUNTAIN ASH	SORBUS AUCUPARIA 'FASTIGIATA'	60MM CAL.	(SMALL) - B&B
	TH	5	HARVEST GOLD LINDEN	TILIA CORDATA X MONGOLICA 'HARVEST GOLD'	80MM CAL.	(LARGE) - B&B
SHRUBS						
	Bx	7	LO & BEHOLD® BLUE CHIP BUTTERFLY BUSH	BUDDLEJA X 'BLUE CHIP'	#5 POT	600MM HT.
	Cv	28	SNOWBRUSH	CEANOTHUS VELUTINUS	#5 POT	300MM HT.
	En	3	RUBBER RABBITBRUSH	ERICAMERIA NAUSEOSA	#5 POT	600MM HT.
	PP	2	DWARF MUGO PINE	PINUS MUGO 'PUMILIO'	#5 POT	600MM HT.
	Ri	10	KIMBERLY WILD ROSE	ROSA WOODSII 'KIMBERLEY'	#5 POT	600MM HT.
PERENNIALS						
	AU	90	BEARBERRY	ARCTOSTAPHYLOS UVA-URSI	#1 POT	
	AD	14	GOATSB Beard	ARUNCUS DIOICUS	#2 POT	
	Cl3	6	BLUE SEDGE	CAREX FLACCA	#2 POT	
	CL	29	NORTHERN SEA OATS	CHASMANTHIUM LATIFOLIUM	#2 POT	
	DT	142	CRINKLED HAIR GRASS	DESCHAMPSIA FLEXUOSA 'TETRA GOLD'	#2 POT	
	Ga	55	BROWN EYED SUSAN	GAILLARDIA ARISTATA	#1 POT	
	Hs4	78	BLUE OAT GRASS	HELICOTRICHON SEMPERVIRENS	#2 POT	
	HR	62	RUBY STELLA DAYLILY	HEMEROCALLIS X 'RUBY STELLA'	#1 POT	
	HP	101	PURPLE LEAVED CORAL BELLS	HEUCHERA MICRANTHA 'PALACE PURPLE'	#2 POT	
	Hm2	34	AUGUST MOON HOSTA	HOSTA X 'AUGUST MOON'	#2 POT	
	Pa6	3	RUSSIAN SAGE	PEROVSKIA ABROTANOIDES	#2 POT	
	Pc	7	GIANT SOLOMON'S SEAL	POLYGONATUM COMMUTATUM	#2 POT	
	Sa	137	AUTUMN JOY STONECROP	SEDUM ALBOROSEUM 'AUTUMN JOY'	#2 POT	
	SM2	48	MEXICAN FEATHER GRASS	STIPA TENUISSIMA	#2 POT	
	VB	90	BLUE WOOLLY CREEPING SPEEDWELL	VERONICA PECTINATA 'BLUE'	#2 POT	
	YG2	58	GOLDEN SWORD YUCCA	YUCCA FILAMENTOSA 'GOLDEN SWORD'	#5 POT	
	YG	15	SOAPWEED	YUCCA GLAUCA	#5 POT	

FOR REVIEW





PLANT SCHEDULE						
SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
TREES						
	PP2	3	PERSIAN IRONWOOD	PARROTIA PERSICA	60MM CAL.	(MEDIUM) - B&B
	SF	4	PYRAMIDAL MOUNTAIN ASH	SORBUS AUCUPARIA 'FASTIGIATA'	60MM CAL.	(SMALL) - B&B
	TH	5	HARVEST GOLD LINDEN	TILIA CORDATA X MONGOLICA 'HARVEST GOLD'	80MM CAL.	(LARGE) - B&B
SHRUBS						
	Bx	7	LO & BEHOLD® BLUE CHIP BUTTERFLY BUSH	BUDDLEIA X 'BLUE CHIP'	#5 POT	600MM HT.
	Cv	28	SNOWBRUSH	CEANOTHUS VELUTINUS	#5 POT	300MM HT.
	En	3	RUBBER RABBITBRUSH	ERICAMERIA NAUSEOSA	#5 POT	600MM HT.
	PP	2	DWARF MUGO PINE	PINUS MUGO 'PUMILIO'	#5 POT	600MM HT.
	Ri	10	KIMBERLY WILD ROSE	ROSA WOODSII 'KIMBERLEY'	#5 POT	600MM HT.
PERENNIALS						
	AU	90	BEARBERRY	ARCTOSTAPHYLOS UVA-URSI	#1 POT	
	AD	14	GOATSBEARD	ARUNCUS DIOICUS	#2 POT	
	Cf3	6	BLUE SEDGE	CAREX FLACCA	#2 POT	
	CL	29	NORTHERN SEA OATS	CHASMANTHIUM LATIFOLIUM	#2 POT	
	DT	142	CRINKLED HAIR GRASS	DESCHAMPSIA FLEXUOSA 'TETRA GOLD'	#2 POT	
	Ga	55	BROWN EYED SUSAN	GAILLARDIA ARISTATA	#1 POT	
	Hs4	78	BLUE OAT GRASS	HELIOTRICHON SEMPERVIRENS	#2 POT	
	HR	62	RUBY STELLA DAYLILY	HEMEROCALLIS X 'RUBY STELLA'	#1 POT	
	HP	101	PURPLE LEAVED CORAL BELLS	HEUCHERA MICRANTHA 'PALACE PURPLE'	#2 POT	
	Hm2	34	AUGUST MOON HOSTA	HOSTA X 'AUGUST MOON'	#2 POT	
	Pa6	3	RUSSIAN SAGE	PEROVSKIA ABROTANOIDES	#2 POT	
	Pc	7	GIANT SOLOMON'S SEAL	POLYGONATUM COMMUTATUM	#2 POT	
	Sa	137	AUTUMN JOY STONECROP	SEDUM ALBOROSEUM 'AUTUMN JOY'	#2 POT	
	SM2	48	MEXICAN FEATHER GRASS	STIPA TENUISSIMA	#2 POT	
	VB	90	BLUE WOOLLY CREEPING SPEEDWELL	VERONICA PECTINATA 'BLUE'	#2 POT	
	YG2	58	GOLDEN SWORD YUCCA	YUCCA FILAMENTOSA 'GOLDEN SWORD'	#5 POT	
	YG	15	SOAPWEED	YUCCA GLAUCA	#5 POT	

GROUNDCOVER SCHEDULE

SYMBOL	DESCRIPTION	QTY
	100MM DEPTH MULCH ON 600MM DEPTH TOPSOIL	347.1 m²
	SOD ON TOPSOIL	246.7 m²
	~1X1X1 DECORATIVE BOULDER	8

PHONE: 250-448-7801

205-1658 Richter Street,
Kelowna, BC V1Y 2M3

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REVISION NO., DATE AND DESCRIPTION

17.01.2025	FOR REVIEW
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AI-Terra

PLOT DATE
2025/01/17

PROJECT
465-495 DOUGALL ROAD

DRAWING TITLE
LANDSCAPE PLAN

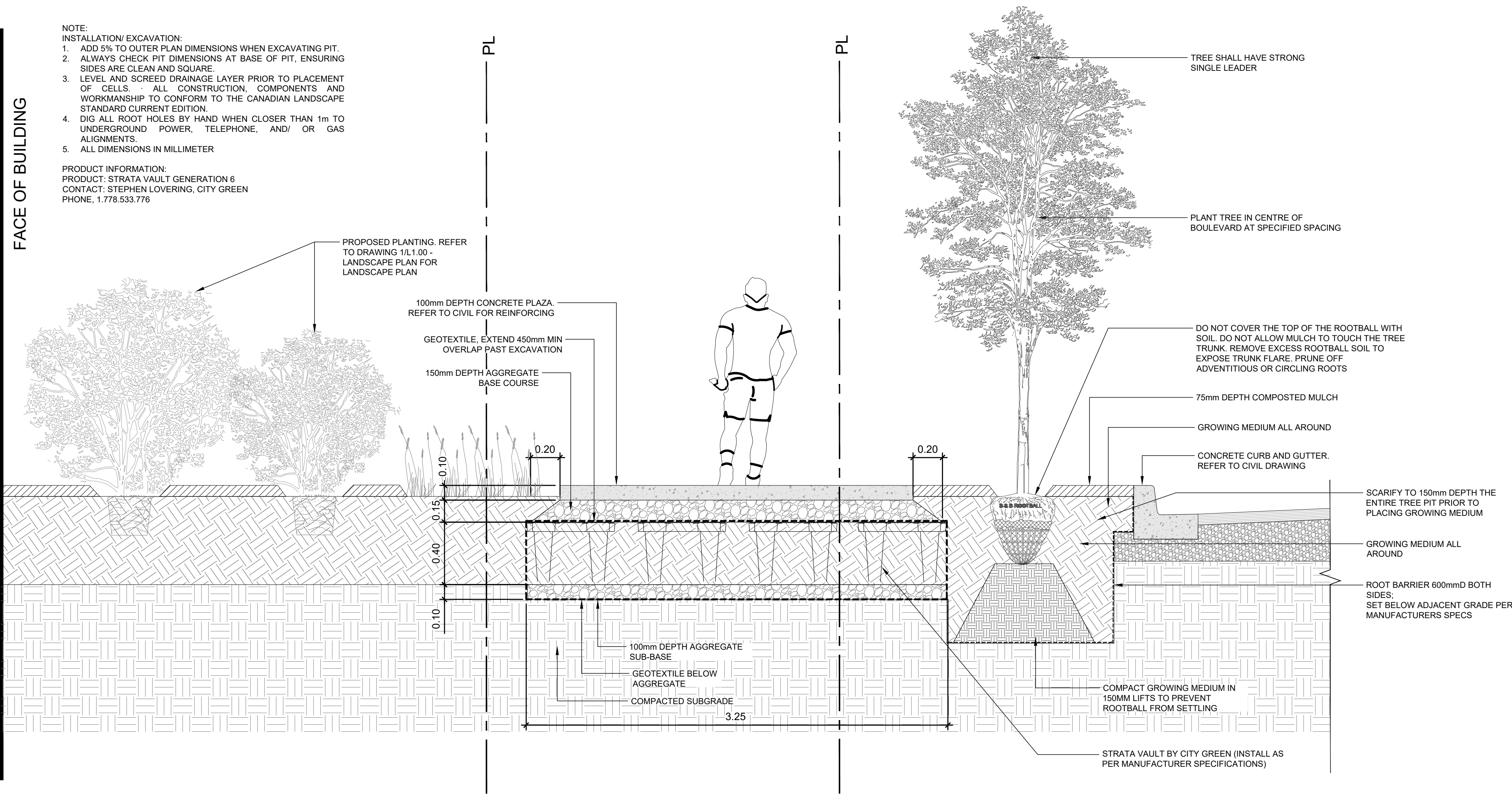
DRAWING NO.
L1.00

FOR REVIEW

FACE OF BUILDING

- NOTE:
- INSTALLATION/ EXCAVATION:
1. ADD 5% TO OUTER PLAN DIMENSIONS WHEN EXCAVATING PIT.
 2. ALWAYS CHECK PIT DIMENSIONS AT BASE OF PIT, ENSURING SIDES ARE CLEAN AND SQUARE.
 3. LEVEL AND SCREED DRAINAGE LAYER PRIOR TO PLACEMENT OF CELLS. ALL CONSTRUCTION, COMPONENTS AND WORKMANSHIP TO CONFORM TO THE CANADIAN LANDSCAPE STANDARD CURRENT EDITION.
 4. DIG ALL ROOT HOLES BY HAND WHEN CLOSER THAN 1m TO UNDERGROUND POWER, TELEPHONE, AND/ OR GAS ALIGNMENTS.
 5. ALL DIMENSIONS IN MILLIMETER

PRODUCT INFORMATION:
PRODUCT: STRATA VAULT GENERATION 6
CONTACT: STEPHEN LOVERING, CITY GREEN
PHONE: 1.778.533.776



1 1 LAYER SOIL CELL - SECTION

L1.00 1:20



PHONE: 250-448-7801

205-1656 Richter Street,
Kelowna, BC V1Y 2M3

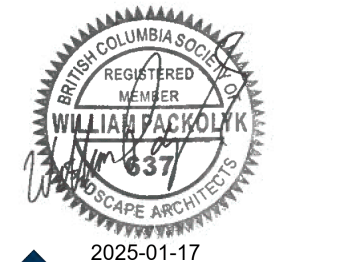
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All trades are to execute the work in accordance with the current municipality building by-laws and requirements of other local authorities having jurisdiction as well as the British Columbia Building Code – (most recent edition) including all published revisions and addenda. All trades shall assume full responsibility for the locations and protection of all under and above ground utilities, wires and conduit connections, including (but not limited to) water, sewer, gas, hydro and telephone.

REVISION NO., DATE AND DESCRIPTION

17.01.2025 FOR REVIEW



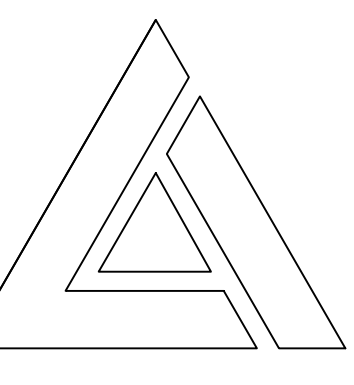
AI-Terra

PLOT DATE
2025/01/17

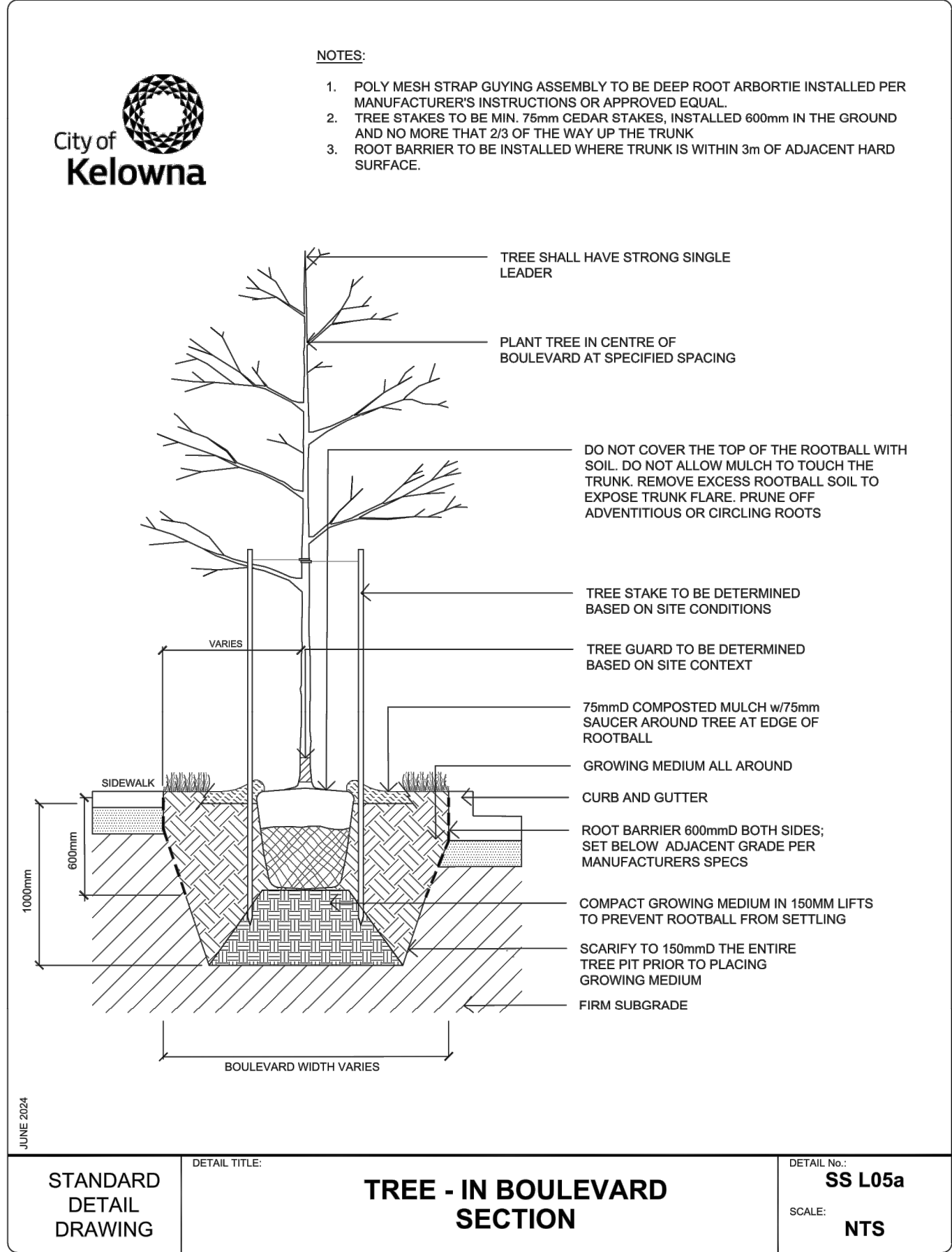
PROJECT
465-495 DOUGALL ROAD

DRAWING TITLE
SECTION

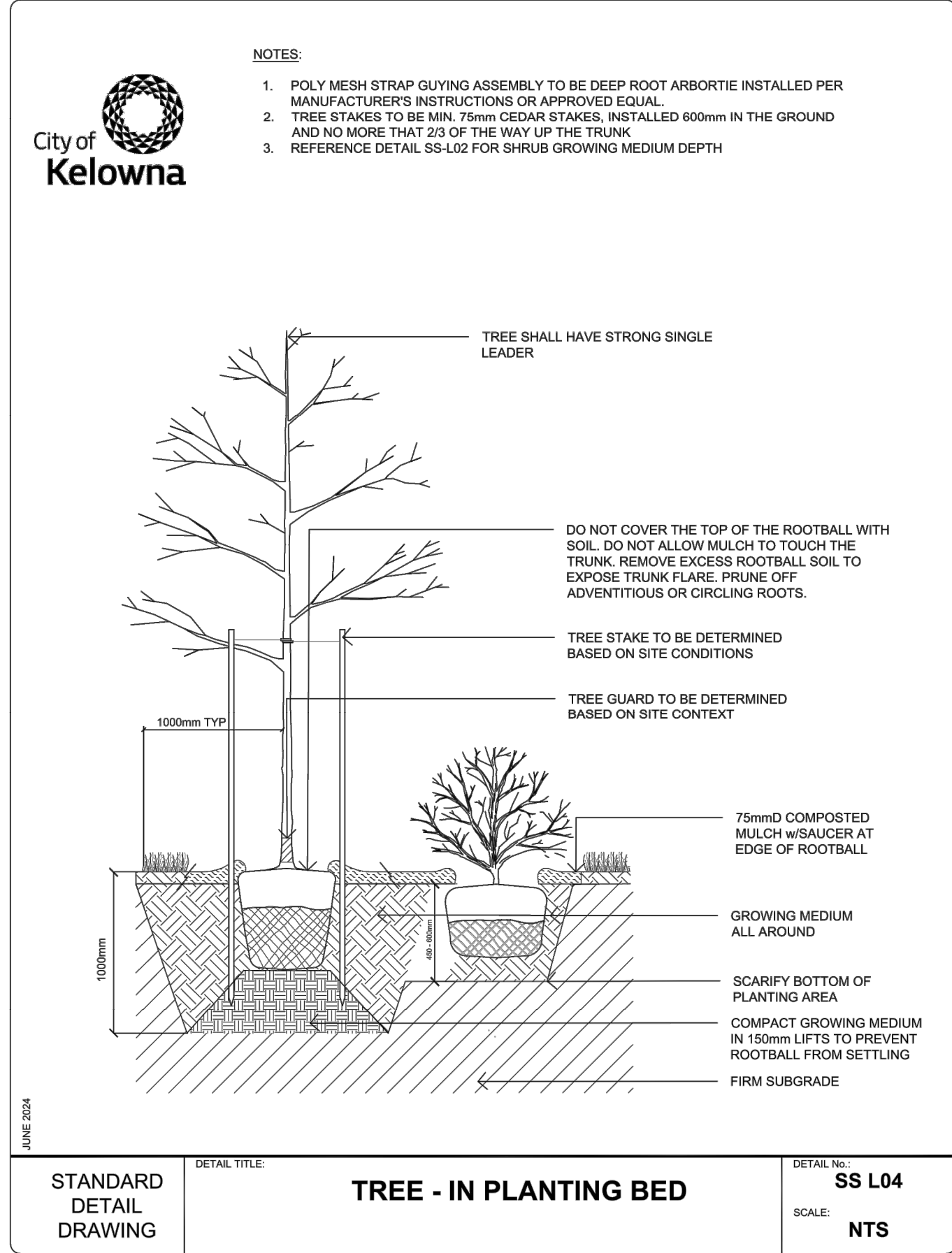
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L1.10



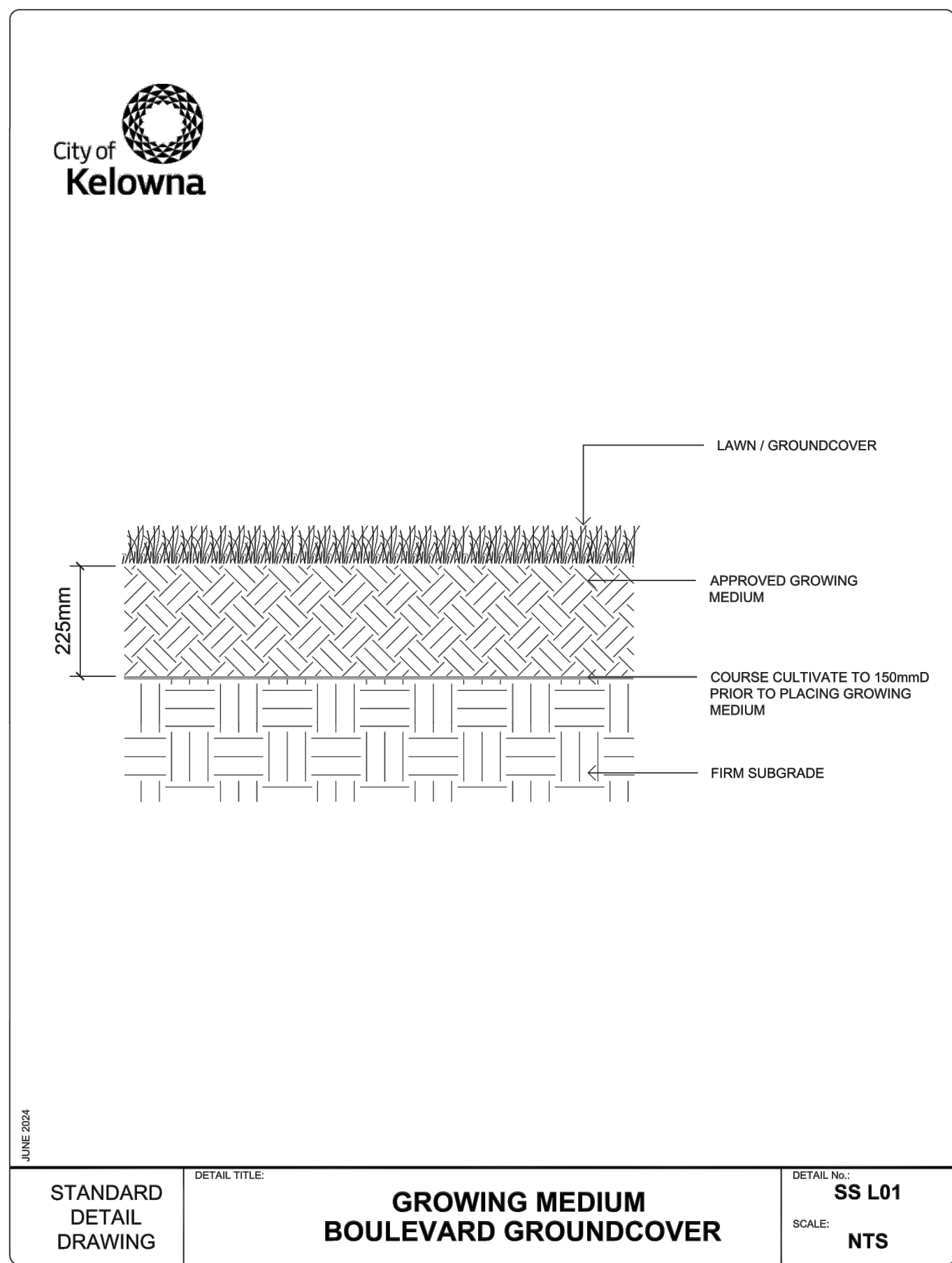
FOR REVIEW



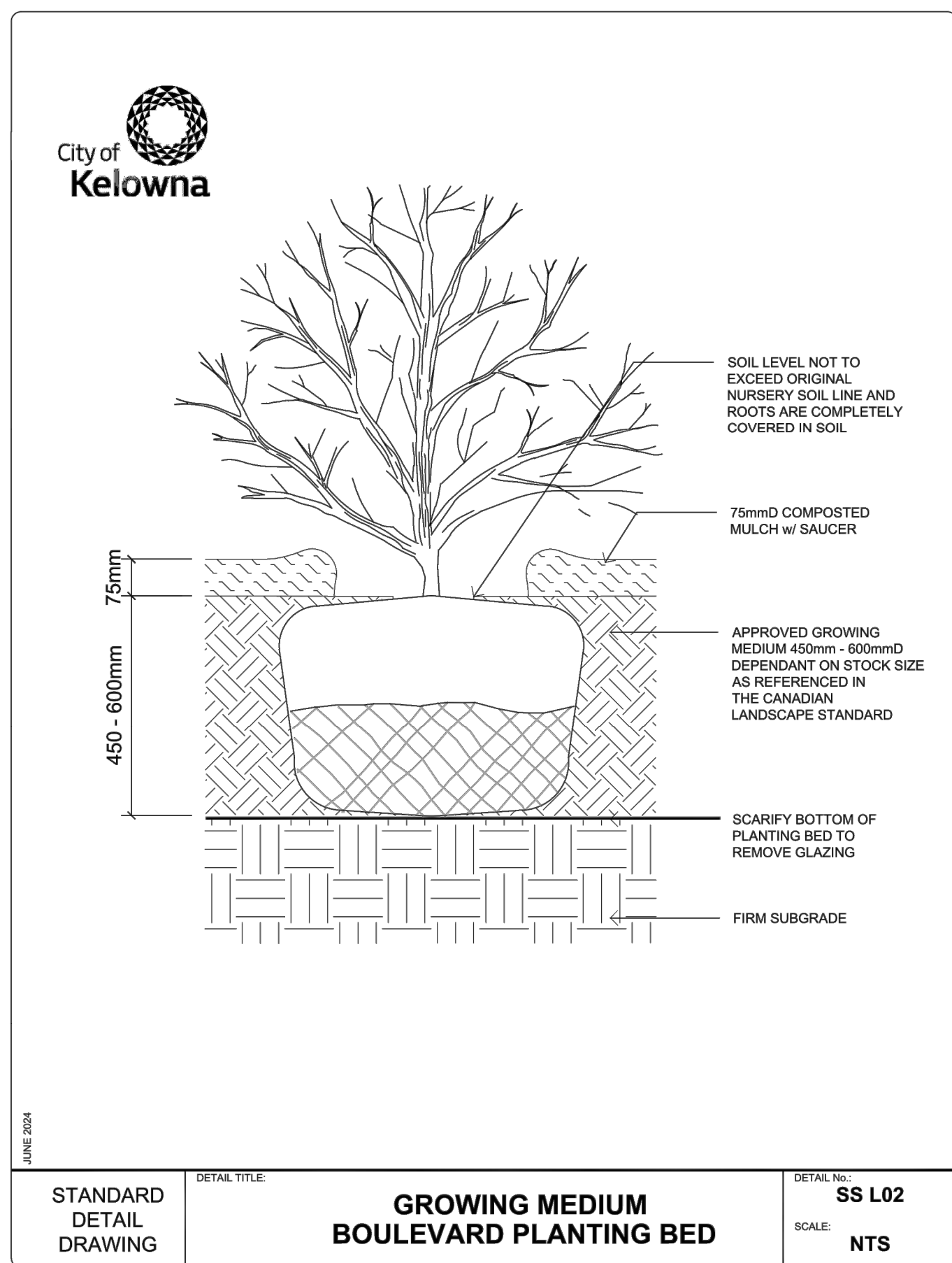
1 TREE - IN BOULEVARD SECTION DETAIL
- NTS



2 TREE IN PLANTING BED DETAIL
- NTS



3 GROWING MEDIUM BOULEVARD GROUNDCOVER DETAIL
- NTS



4 GROWING MEDIUM BOULEVARD PLANTING BED DETAIL
- NTS



5 KIOSK WRAP
- NTS

WHEN TO APPLY:

- APPLICATIONS FOR NON-FUNDED PROJECTS ARE ACCEPTED AND REVIEWED ON AN ONGOING BASIS.
- CONTRACTOR TO APPLY FOR A BC HYDRO WRAP AGREEMENT ONCE ALL TRANSFORMER AND POWER FURNITURE BOXES HAVE BEEN INSTALLED
- CONTRACTOR MUST ADHERE TO SAFETY REGULATIONS AND USE QUALIFIED INSTALLERS WHO ARE CERTIFIED TO WORK AROUND HIGH VOLTAGE EQUIPMENT

HOW TO APPLY:

- COMPLETE THE APPLICATION FORM FOUND AT THE LINK BELOW
- SUBMIT APPLICATION AND SUPPORTING TO WRAPS@BCHYDRO.COM
- CONTRACTOR TO PROVIDE PHOTOS SHOWING ALL FOUR SIDES OF ALL BOXES AND EQUIPMENT TO BE WRAPPED WITH COMPLETED APPLICATION FORM
- FOR ADDITIONAL INFORMATION ON THIS PROGRAM CONTACT LOCAL COMMUNITY RELATIONS MANAGER (TED OLYNYK, TED.OLYNYK@BCHYDRO.COM, 250 755 7180) AND REFER TO LINK BELOW:

https://www.bchydro.com/community/in_your_region/decorative-wraps.html

KIOSK WRAP TO BE TYPICAL LEAF PATTERN

LIME
ARCHITECTURE INC.
PHONE: 250-448-7801
205-1658 Richter Street,
Kelowna, BC V1Y 2M3
www.limearchitecture.com

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REVISION NO., DATE AND DESCRIPTION
17.01.2025 FOR REVIEW

PROFESSIONAL SEAL
WILLIAM FAYOLKA
REGISTERED MEMBER
NO. 637
2025-01-17
AL-TERRA

PLOT DATE
2025/01/17

PROJECT
465-495 DOUGALL ROAD

DRAWING TITLE
LANDSCAPE
DETAILS

DRAWING NO.
L2.00

FOR REVIEW

ESTIMATED SYSTEM DEMAND

PLANT TYPE	IRRIGATION TYPE	AREA	WATER USE
SHRUBS	SUBSURFACE INLINE DRIP	365m²	162m³
TURF:	PRESSURE COMPENSATED SPRAYS	202m²	231m³

TARGET DESIGN FLOW: 12gpm c/w 25mm Ø SERVICE



INSTALLATION NOTES

- ALL IRRIGATION PRODUCTS, MATERIALS AND CONSTRUCTION SHALL CONFORM TO SECTION 32 84 00 IRRIGATION SYSTEM SPECIFICATIONS UNLESS OTHERWISE NOTED ON PLANS.
- CONTRACTOR SHALL SLEEVE ALL IRRIGATION AND WIRES UNDER ALL WALKWAYS, DRIVEWAYS, ROCK WALLS AND RETAINING WALLS. WATER LINES AND WIRE SHALL NOT SHARE SAME SLEEVE. SLEEVE SIZING SHALL BE TWICE THE THE DIAMETER OF IRRIGATION PIPE.
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES AND SERVICES PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR FOR CONTACTING BC ONE CALL AND COMPLETING UTILITY LOCATES BEFORE DIGGING.
- IRRIGATION PLANS ARE SCHEMATIC ONLY. ALL PLANT MATERIAL, LIGHT STANDARDS, HARD SURFACES OR AMENITIES TAKE PRECEDENCE OVER LOCATION OF IRRIGATION COMPONENTS.
- CONTRACTOR TO CONFIRM 90psi @ 115gpm AVAILABLE AT SOURCE PRIOR TO INSTALLATION. CONFIRM LOCATION OF POINT OF CONNECTION AND CONTROLLER PRIOR TO INSTALLATION.
- ALL ELECTRIC CONDUIT SHALL BE CSA NON-METALLIC DB2 PVC, GREY IN COLOUR.
- INSTALL VALVES WITH MINIMUM 50mm CLEARANCE BETWEEN VALVE AND VALVE BOX, AND BETWEEN VALVE AND DRAIN ROCK.
- WIRE SPLICES SHALL BE MADE w/ 3M DBR 7/6 CONNECTORS & LOCATED AT ELECTRIC CONTROL ZONE VALVES.
- SUBSTITUTION REQUESTS SHALL BE MADE IN WRITING TO THE CONSULTANT MINIMUM 7 BUSINESS DAYS PRIOR TO CLOSE OF TENDER AND SHALL BE ACCOMPANIED BY PRODUCT LITERATURE, SHOP DRAWINGS, AND PERFORMANCE CHARTS.
- INSTALL WIRE WITH MINIMUM 600mm LENGTH OF COILED SLACK AT ALL CHANGES OF DIRECTION, IN WIRE SPLICE BOXES AND AT CONNECTIONS TO CONTROLLED COMPONENTS.
- SPRAYHEADS AND ROTORS SHALL BE ADJUSTED TO MINIMIZE OVERSPRAY ONTO ADJACENT SURFACES. IF FIXED ARC NOZZLE DOES NOT FIT THE PRESCRIBED AREA, INSTALL RAIN BIRD HE-VAN AND ADJUST AS NECESSARY.
- CONTRACTOR SHALL MONITOR CONTROLLER SETTINGS AND ADJUST REGULARLY TO ACCOUNT FOR SEASONAL WEATHER CHANGES TO ENSURE THAT PLANT WATER REQUIREMENTS ARE MET AND NOT EXCEEDED.
- IDENTIFY ELECTRIC CONTROL VALVE WITH PERMANENT LABEL OR TAG INDICATING ZONE NUMBER OF VALVE.
- ALL WIRES SHALL BE RAIN BIRD MAXI-WIRE.
- CONTRACTOR SHALL ENSURE EACH DRIPLINE ZONE IS INSPECTED c/w COVERAGE TEST PRIOR TO BURIAL BY CONTRACT ADMINISTRATOR, IRRIGATION CONSULTANT, OR APPROVED PERSONNEL.
- CONTRACTOR IS RESPONSIBLE TO CHECK AND CONFIRM ALL DIMENSIONS, ELEVATIONS, QUANTITIES ON DRAWING.
- WRAP VALVE BOXES IN LANDSCAPE FABRIC TO PREVENT MATERIAL FORM SLOUGHING IN

1 WATER CONSERVATION REPORT
IR.1.0/1:150

REVISIONS / ISSUED			REVISIONS / ISSUED		
1	JAN 15/25	ISSUED FOR DP			
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

PROJECT
465 DOUGALL ROAD NORTH
KELOWNA, BC

CLIENT
AL-TERRA

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WATERPLANIT
IRRIGATION LTD.

IRRIGATION DESIGN | CONSULTING | PLANNING | EFFICIENCY
Kelowna BC | 250.878.6278 | www.waterplantit.ca

DESIGN BY	RH	SHEET TITLE
DRAWN BY	RH	WATER CONSERVATION PLAN
CHECKED BY	RH	
PROJECT NO.	24-101	SHEET NO.
SCALE	1:150	

IR 1.0

January 23, 2025
File: 682-001

5307 – 47 Street NW
Edmonton, AB T6B 3T4
(780) 440-4411

Troika Management Corp.
302 – 554 Leon Avenue
Kelowna, BC V1Y 6J6

al-terra.com

(250) 258-0067

Attention: Brad Clifton
Senior Development Manager

Re: 465 Dougall Road North – Preliminary Cost Estimate for Bonding

Brad,

Please be advised of the following preliminary cost estimate for bonding of the proposed landscape work shown in the 465 Dougall Road North conceptual landscape plan dated January 17th, 2025:

- On-site Improvements: \$ 80,395.00
- Off-site Improvements: \$133,730.00

The preliminary cost estimate is inclusive of trees, shrubs, perennials, turf, planting beds, soil cells and irrigation.

You will be required to submit a performance bond to the City of Kelowna in the amount of 125% of the preliminary cost estimate. Please do not hesitate to contact me with any questions about the landscape plan.

Yours Truly,
Al-Terra Landscape Architecture



William Packolyk, BCSLA

Enclosed: 250123 DP Cost Estimate





5307 - 47 Street NW, Edmonton, Alberta T6B 3T4
T: 780.440.4411 al-terra.com

Opinion of Probable Cost Summary Sheet

Date: 2025-01-23

Owner: Troika Management Corporation

Project: 465 Dougall Road

Location: Kelowna, BC

Schedule Summary

Item	Bid Value
Opinion of Probable Cost - On Site	\$ 80,395.00
Opinion of Probable Cost - Off Site	\$ 133,730.00

Project Subtotal: \$ 214,125.00
Subtotal: \$ 25,695.00
Grand Total: \$ 239,820.00

Prepared By: _____ AC

Approved: _____ WP



Getting people where they need to go. Creating places where they want to be.

Opinion of Probable Cost - On Site

Schedule A - Groundcover

Item	Description	Quantity	Unit	Unit Rate	Extension
.01	Certified #1 Cultivated Sod on 225mm Depth Topsoil	250	m2	\$ 12.00	\$ 3,000.00
.02	Plant Bed - 100mm Depth Mulch on 600mm Depth Topsoil	265	m2	\$ 72.00	\$ 19,080.00
				Subtotal: \$	22,080.00

Schedule B - Planting

Item	Description	Quantity	Unit	Unit Rate	Extension
Trees					
.01	Persian Ironwood - 60mm Caliper	3	Each	\$ 750.00	\$ 2,250.00
.02	Pyramidal Mountain Ash - 60mm Caliper	4	Each	\$ 725.00	\$ 2,900.00
Shrubs					
.03	Lo & Behold Blue Chip Butterfly Bush - 600mm Height	7	Each	\$ 60.00	\$ 420.00
.04	Snowbrush - 300mm Height	28	Each	\$ 65.00	\$ 1,820.00
.05	Rubber Rabbitbrush - 600mm Height	3	Each	\$ 60.00	\$ 180.00
.06	Dwarf Mugo Pine - 600mm Height	2	Each	\$ 75.00	\$ 150.00
.07	Kimberly Wild Rose - 600mm Height	10	Each	\$ 65.00	\$ 650.00
Perennials & Grasses					
.08	Bearberry - #1 Pot	90	Each	\$ 25.00	\$ 2,250.00
.09	Goatsbeard - #2 Pot	14	Each	\$ 40.00	\$ 560.00
.10	Blue Sedge - #2 Pot	6	Each	\$ 40.00	\$ 240.00
.11	Northern Sea Oats - #2 Pot	29	Each	\$ 40.00	\$ 1,160.00
.12	Brown Eyed Susan - #1 Pot	55	Each	\$ 25.00	\$ 1,375.00
.13	Ruby Stella Daylily - #1 Pot	62	Each	\$ 25.00	\$ 1,550.00
.14	Purple Leaved Coral Bells - #2 Pot	101	Each	\$ 40.00	\$ 4,040.00
.15	August Moon Hosta - #2 Pot	34	Each	\$ 40.00	\$ 1,360.00
.16	Russian Sage - #2 Pot	3	Each	\$ 40.00	\$ 120.00
.17	Giant Solomon's Seal - #2 Pot	7	Each	\$ 40.00	\$ 280.00
.18	Autumn Joy Stonecrop - #2 Pot	31	Each	\$ 40.00	\$ 1,240.00
.19	Mexican Feather Grass - #2 Pot	48	Each	\$ 40.00	\$ 1,920.00
.20	Golden Sword Yucca - #5 Pot	58	Each	\$ 50.00	\$ 2,900.00
.21	Soapweed - #5 Pot	15	Each	\$ 50.00	\$ 750.00
				Subtotal: \$	28,115.00



Schedule C - Site Furnishing

Item	Description	Quantity	Unit	Unit Rate	Extension
.01	1x1x1 Decorative Boulder	8	Each	\$ 650.00	\$ 5,200.00
				Subtotal: \$	5,200.00

Schedule D - Irrigation

Item	Description	Quantity	Unit	Unit Rate	Extension
.01	Irrigation	1	LS	\$ 25,000.00	\$ 25,000.00
				Subtotal: \$	25,000.00

Project Subtotal: \$	80,395.00
HST (12%) \$	9,647.40
Grand Total: \$	90,042.40



Opinion of Probable Cost - Off Site

Schedule A - Earth Works

Item	Description	Quantity	Unit	Unit Rate	Extension
.01	Boulevard Excavation (For Tree Trench)	160	m3	\$ 75.00	\$ 12,000.00
.02	Garbage Excavation (For Soil Cells)	75	m3	\$ 55.00	\$ 4,125.00
				Subtotal:	\$ 16,125.00

Schedule B - Groundcover

Item	Description	Quantity	Unit	Unit Rate	Extension
.01	Soil Cells - 1 Layer Deep	160	m2	\$ 425.00	\$ 68,000.00
.02	Plant Bed - 100mm Depth Mulch on 600mm Depth Topsoil	85	m2	\$ 85.00	\$ 7,225.00
				Subtotal:	\$ 75,225.00

Schedule C - Planting

Item	Description	Quantity	Unit	Unit Rate	Extension
Trees					
.01	Harvest Gold Linden - 80mm Caliper	5	Each	\$ 1,900.00	\$ 9,500.00
Perennials & Grasses					
.02	Crinkled Hair Grass - #2 Pot	142	Each	\$ 40.00	\$ 5,680.00
.03	Blue Oat Grass - #2 Pot	78	Each	\$ 40.00	\$ 3,120.00
.04	Autumn Joy Stonecrop - #2 Pot	137	Each	\$ 40.00	\$ 5,480.00
.05	Blue Woolly Creeping Speedwell - #2 Pot	90	Each	\$ 40.00	\$ 3,600.00
				Subtotal:	\$ 27,380.00

Schedule D - Irrigation

Item	Description	Quantity	Unit	Unit Rate	Extension
.01	Irrigation	1	LS	\$ 15,000.00	\$ 15,000.00
				Subtotal:	\$ 15,000.00

Project Subtotal:	\$	133,730.00
HST (12%)	\$	16,047.60
Grand Total:	\$	149,777.60

